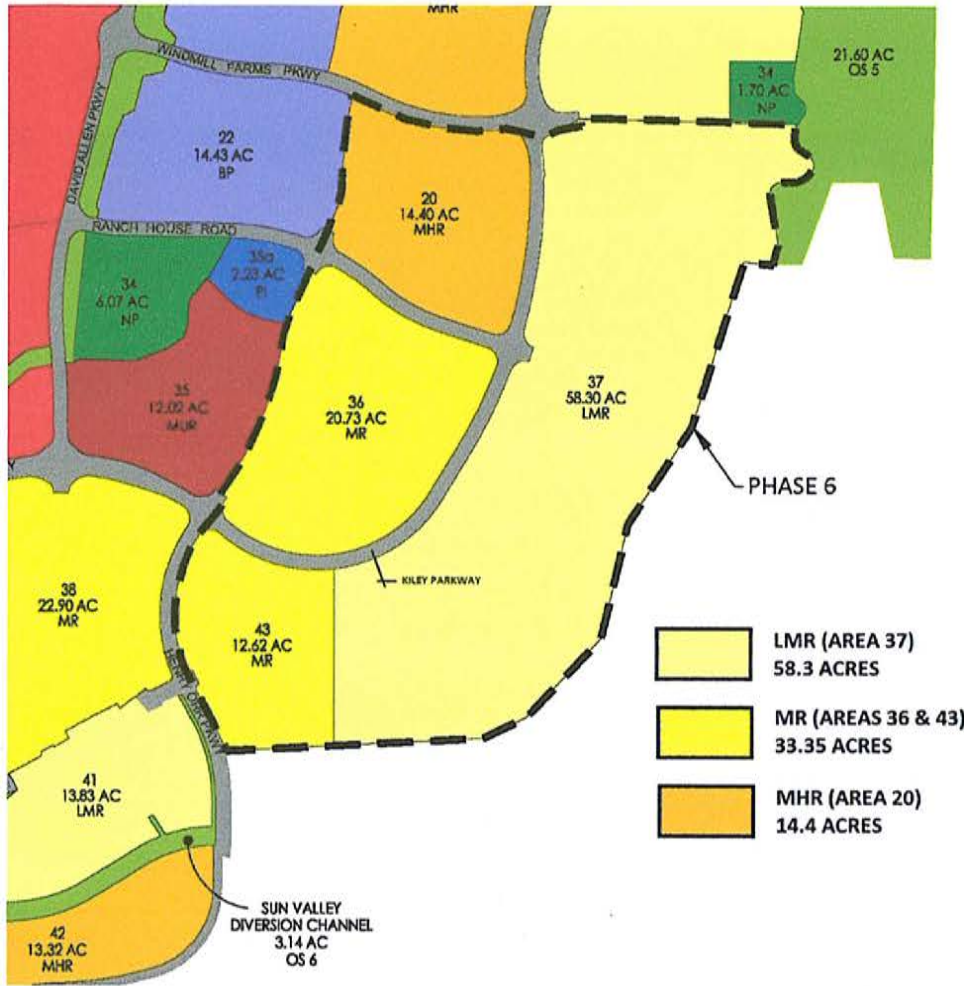


KILEY RANCH NORTH PHASE 6

FINAL DEVELOPMENT HANDBOOK



Prepared by:



APRIL 9, 2014

Job # 197-03

KILEY RANCH NORTH PHASE 6

FINAL DEVELOPMENT HANDBOOK

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CHAPTER 1 - INTRODUCTION AND IMPLEMENTATION

1.1 Purpose

The purpose of this Final Development Handbook is to provide for the orderly development of Kiley Ranch North Phase 6 as envisioned, while assuring that the stated desired level of quality is achieved. Since implementation of public and private improvements will occur in multiple phases, over many years, the standards and guidelines contained herein establish a common framework to guide individual improvement plans. The development of the property is controlled and restricted by these development requirements as well as by all applicable government codes and regulations. The City of Sparks shall enforce all provisions and standards including the graphic and textual elements of this Final Development Handbook. This Final Development Handbook is not intended to limit creativity or prevent variation necessary to respond to unique site conditions, but rather to generate consistency and quality throughout Kiley Ranch North.

Improvement of public areas within Kiley Ranch North Phase 6 will be the responsibility of individual developers and/or the landowner unless assigned by agreement to other public or private parties. All improvements shall be designed consistent with these standards and guidelines. Maintenance of public areas within Kiley Ranch North Phase 6, including streets, parks, community gateways and landscape buffers/trails will be the shared responsibility of the Kiley Ranch North Landscape Association Inc., the adjacent property owner, a public utility company, or the City of Sparks, unless assigned by agreement to other public or private parties. Specific responsibilities for the improvement and maintenance of these areas are further addressed in later sections of this Final Development Handbook.

This Final Development Handbook applies to Kiley Ranch North Phase 6. Phase 6 consists of Planning Units 20, 36, 37, and 43 as identified in the Kiley Ranch North Land Use Plan adopted by the City of Sparks. A total of 106.05± acres are included within Phase 6. Figure 1-1 (following page) depicts the adopted Kiley Ranch Land Use Plan while Figure 1-2 (page 1-3) depicts the overall updated plan with the Phase 6 area subject to the development standards contained herein highlighted.

1.2 Community Vision

The adopted Kiley Ranch North Master Plan and Design Handbook establish the overall vision and theme for Kiley Ranch North. The approved standards are carried over in to Phase 6 with supplemental guidelines and standards to reflect site specific conditions within this phase.

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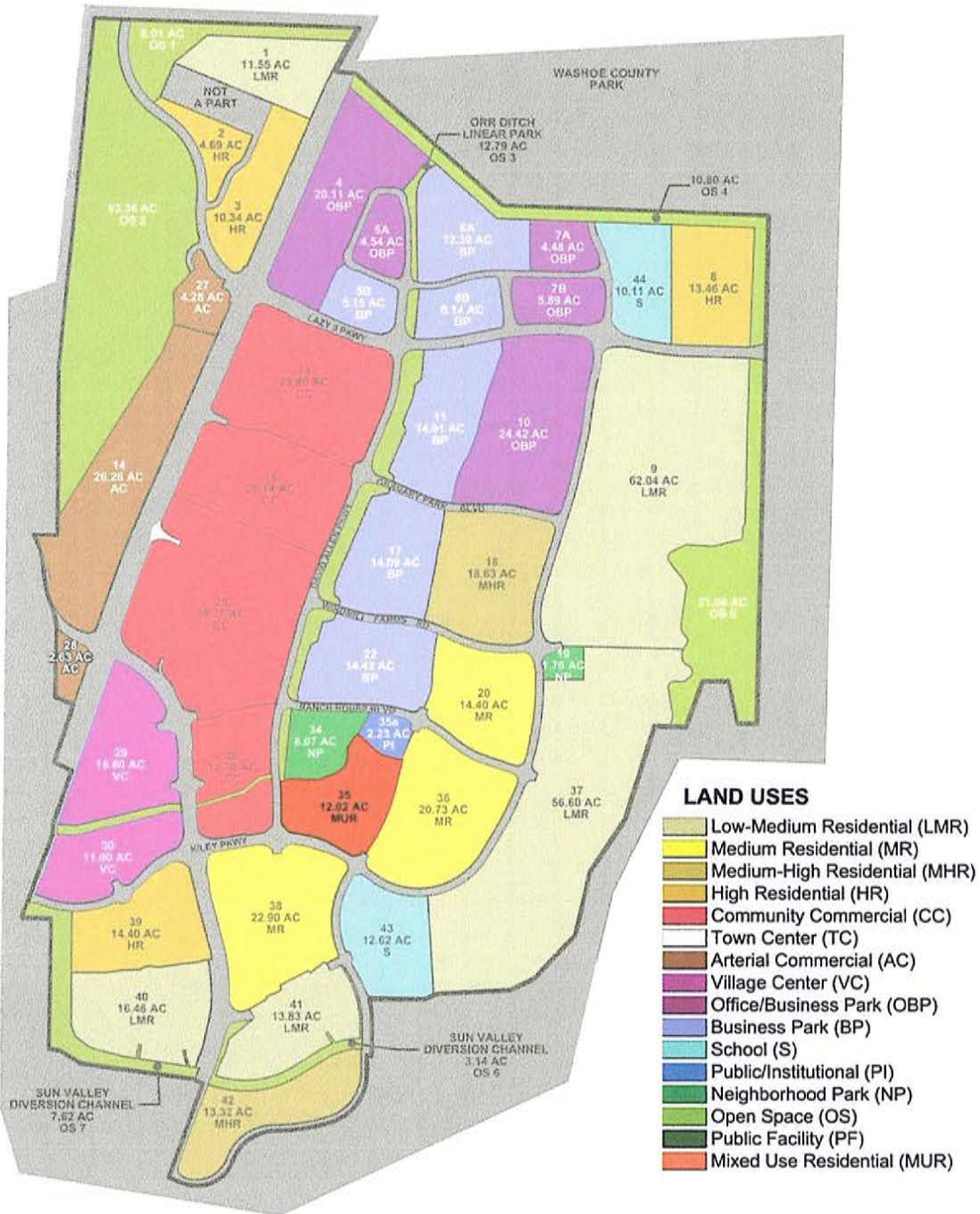


Figure 1-1 – Adopted Kiley Ranch North Land Use Plan

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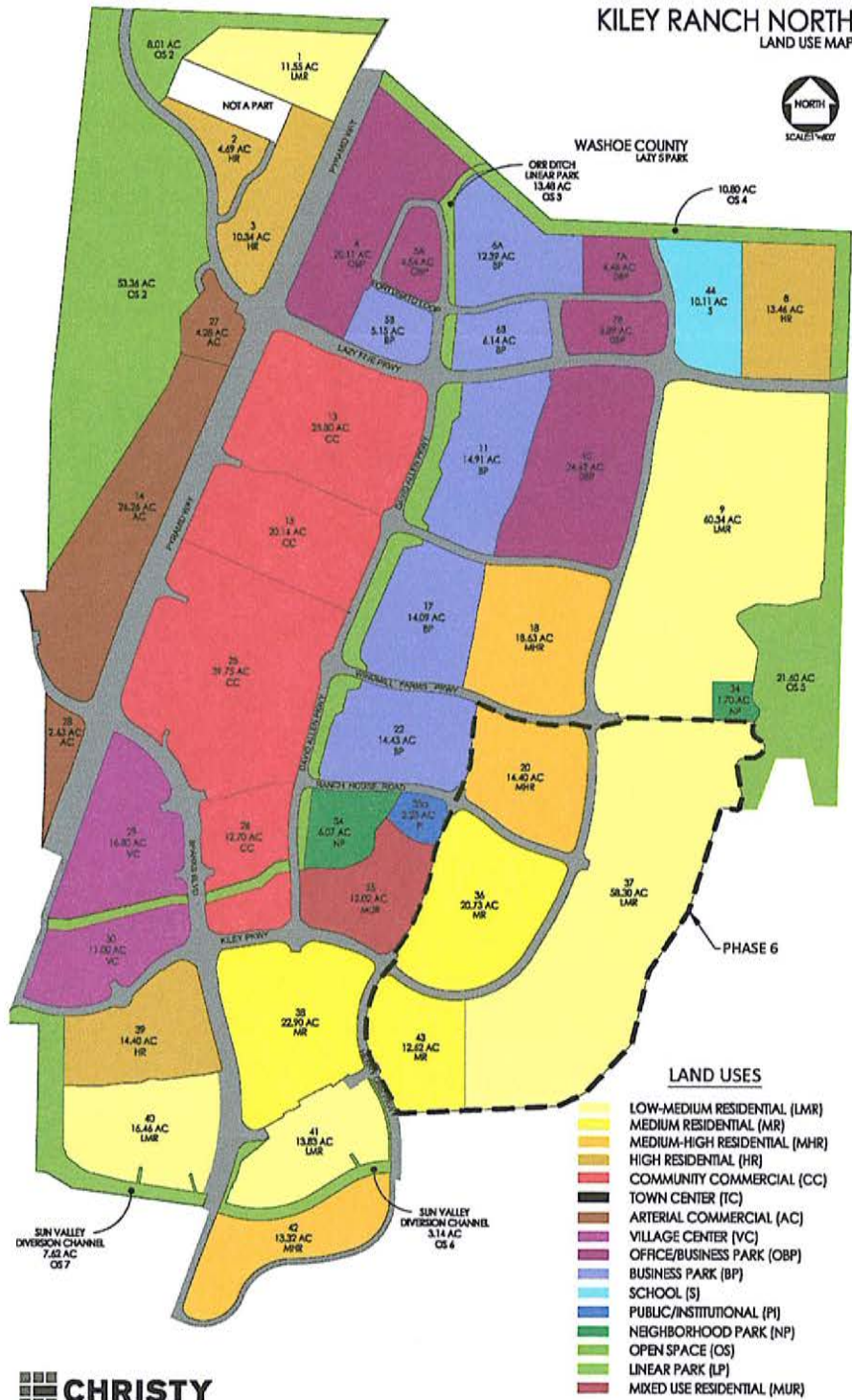


Figure 1-2 – Kiley Ranch North Phase 6 Master Plan

1.2.1 Sense of Place, People Gathering Places and Walkability

Place-making is one of the key components in creating a vibrant and balanced community. A sense of place is fostered within Kiley Ranch North Phase 6 by creating human-scale environments in which the individual can feel both comfortable and safe.

Kiley Ranch North Phase 6 organizes movement by providing connectivity between various activity centers. Integration of people gathering places that contain aesthetically pleasing and attractive amenities help promote social interaction and walkability within the community. This includes a community trail/path network providing connections between development and the regional trail system.

1.2.2 Neighborhood Diversity: A New Urbanism/Suburban Eclectic

Kiley Ranch North Phase 6 provides for neighborhood diversity by allowing innovative residential dwelling design to support specific human interests and niches of different lifestyle and life stages. The variety of land uses creates a wide-ranging palette of housing styles that encourage creativity through controlled flexibility. The densities of these neighborhoods support surrounding business and commercial centers while adding to the vitality of the community. Furthermore, this diversity breaks up the monotony of traditional residential development by reinforcing the dynamics of character and identity within each of the neighborhoods.

1.2.3 Implementing the Vision

The vision for Kiley Ranch North Phase 6 will be carried out through the guidance provided by the four overarching principles adopted in the Kiley Ranch North Master Plan. Its visual identity will be further defined and coordinated by the streetscape and landscape themes described in this handbook. Innovative use of materials, methods of construction and site planning proposed herein will also ensure the quality and character of the community as it develops over time. This Final Development Handbook will be used by the City of Sparks as a guide for reviewing the projects within Kiley Ranch North Phase 6.

1.3 Project Description

Kiley Ranch North is located within the Kiley Ranch in the Spanish Springs Valley (Refer to Figure 1-3, Regional Location Map). The conceptual master plan for the ranch property was approved by the City of Sparks (as depicted previously in Figure 1-1) and included in the adopted City of Sparks Sphere of Influence Plan (Refer to Figure 1-4, Northern Sparks Sphere of Influence Master Plan). The southern 743 acres of the ranch, known as the Southern Development Division, was annexed to the City of Sparks and is guided by a separate Development Design Handbook. The Southern Development Division of the ranch is comprised of multi-family, single family and commercial land uses.

Specifically, this Final Development Handbook is pertinent to Phase 6 of Kiley Ranch North. As previously described, Phase 6 includes 106.05± acres and includes a mix of residential uses at varying densities. Figure 1-2 depicts Kiley Ranch North Phase 6 and the area covered under this Handbook.

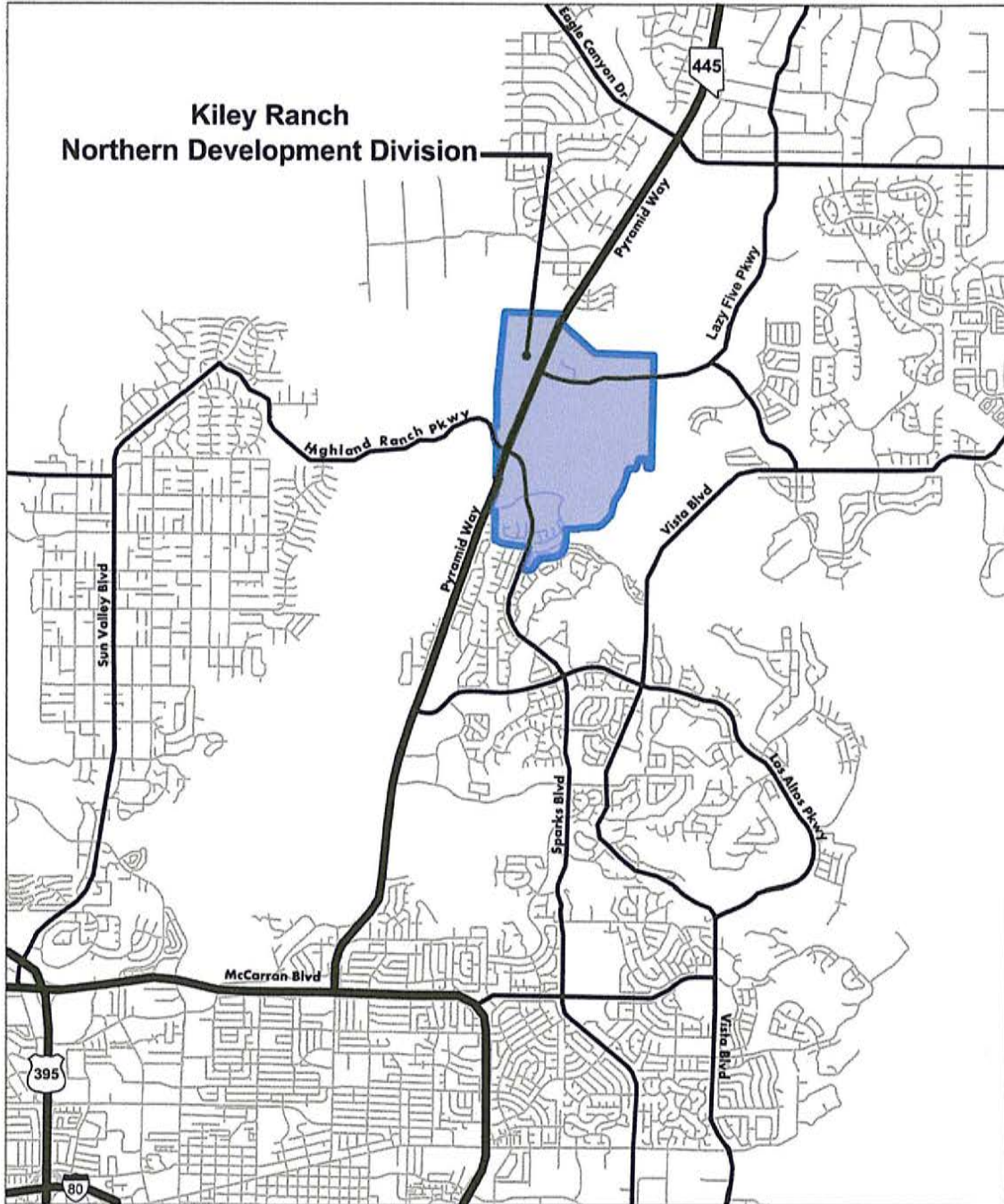


Figure 1-3 – Regional Location Map

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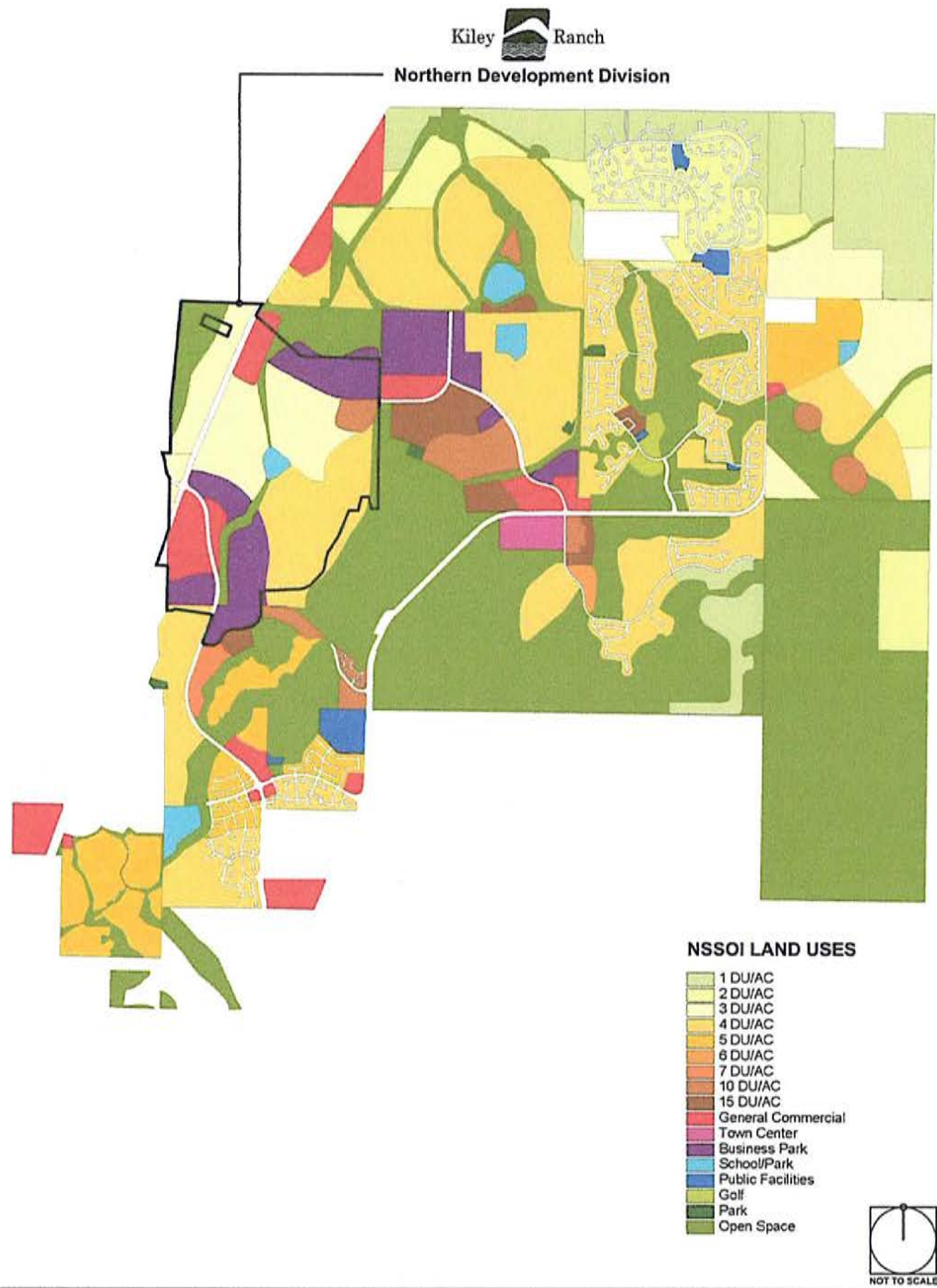


Figure 1-4 – Northern Sparks Sphere of Influence Master Plan

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Phase 6 of Kiley Ranch North is surrounded by dedicated open space to the east, planned single family and public facilities (community park) to the north, planned residential (at varying densities) and potential commercial to the west, and existing development within the Kiley Ranch Southern Development Division to the south.

Due to limited physical site constraints, Kiley Ranch North Phase 6 is favorable to development (Refer to Figure 1-5, Site Context) and lies on the mid to lower portions of alluvial fans along the west side of Spanish Springs Valley. Channels are poorly defined with slopes mostly less than 3%. Runoff generally sheet flows into the existing jurisdictional wetlands and the City of Sparks flood detention area on the eastern edge of the plan area. The south portion of the site currently sheet flows north to south into the Sun Valley Diversion Channel. The Federal Emergency Management Agency (FEMA) has designated the project area as Zone X (outside the 500-year flood plain).

1.3.1 Kiley Ranch North Master Plan

The Kiley Ranch North Master Plan introduces an intense and diversified mix of land uses within the Northern Sparks Sphere of Influence (Refer to previous Figure 1-1, Kiley Ranch North Master Plan). Of the property's 834.52± acres, approximately 38 percent of the project is dedicated for residential development, 34 percent for commercial and business park uses and 15 percent for open space (plus additional 7 percent in formally landscaped areas included within non-residential development areas), 1 percent for public facilities and 11 percent for roadways. The table on page 1-9 (Master Plan Land Use Designation) summarizes the project's land use components.

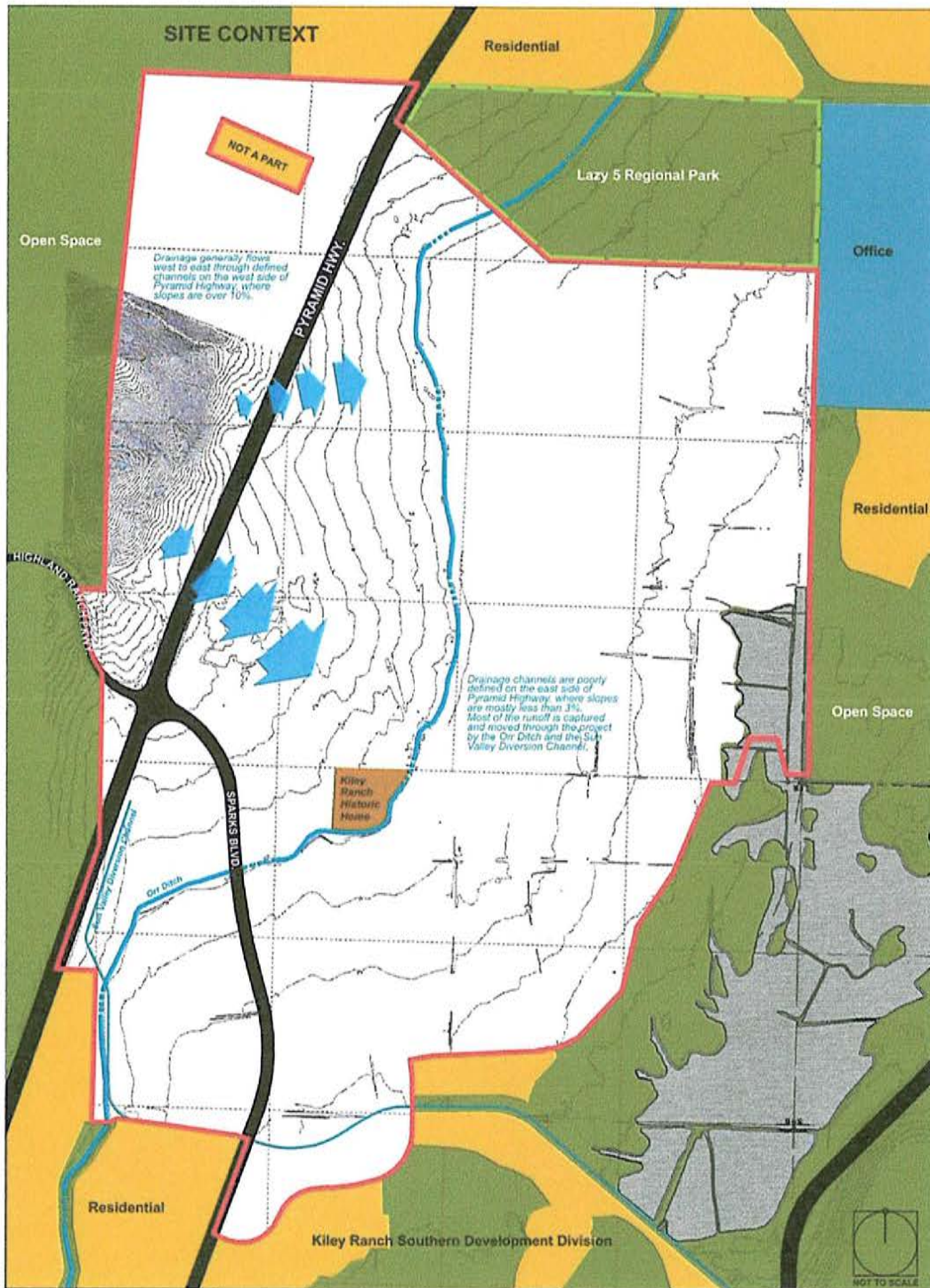


Figure 1-5 – Site Context

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**Table 1-1: Master Plan Land Use Designation
Kiley Ranch North Phase 6**

Land Use Designation			Gross Acres	Maximum Density or FAR	Permitted Total Units	Approx. Allowed Sq. Ft.	Required Open Space	Open Space Provided
RESIDENTIAL								
Low-Medium	4.0 – 7.9 du/ac	LMR	160.48	7.9 du/ac	1,335	-	-	-
Medium	6.0 – 11.9 du/ac	MR	56.25	11.9 du/ac	669	-	-	-
Medium-High	12.0–17.9 du/ac	MHR	46.35	17.9 du/ac	830	-	-	-
High	18.0 – 23.9 du/ac	HR	42.89	23.9 du/ac	1,025	-	-	-
Mixed Use Residential	5.0 – 23.9 du/ac	MUR	12.02	23.9 du/ac	162 ⁽⁵⁾⁽⁶⁾	-	15%	1.80
Total Residential			317.99		3,954⁽¹⁾⁽⁶⁾	-	-	-
NON-RESIDENTIAL								
COMMERCIAL								
Arterial Commercial		AC	33.17	0.4	-	577,954	15%	5.0
Community Commercial		CC	98.39	0.3 ⁽²⁾	-	2,236,091 ⁽²⁾	15%	14.8
Village Commercial		VC	27.8	0.9	82 ⁽⁶⁾	1,089,871	20%	5.6
Subtotal Commercial			159.36		-	3,903,916		25.4
OFFICE/BUSINESS PARK								
Business Park		BP	67.11	0.6	-	1,753,987	20%	13.4
Office/Business Park		OBP	59.44	0.6	-	1,553,524	20%	11.9
Subtotal Office/Business Park			126.55		-	3,307,511		25.3
PUBLIC FACILITIES								
Public/Institutional		PI	2.23	0.4	-	38,856	25%	0.56
School		S	10.11	0.3	242 ⁽⁷⁾	132,117	20%	2.02
Subtotal Public Facilities			12.34		-	170,973		2.58
OPEN SPACE								
Neighborhood Parks		NP	7.77	-	-	-	-	7.77
Open Space		OS	117.32	-	-	-	-	117.32
Subtotal Open Space			125.09⁽⁴⁾		-	-	-	125.09
Total Non-Residential			423.34		-	7,382,400	-	55.08⁽⁴⁾
Roadways ⁽³⁾			93.19	-	-	-	-	-
PROJECT TOTALS			834.52		4,278⁽¹⁾⁽⁶⁾⁽⁷⁾	7,382,400	166.90⁽⁴⁾	180.17⁽⁸⁾

Notes:

1. Per the tentative approval of the Kiley Ranch North PUD, the maximum amount of residential units allowed in Kiley Ranch North is 4,463.
2. The maximum floor area ratio for the medical campus use in the Community Commercial/Medical Campus land use category shall be 0.85, providing an over total of 2,238,091 sq. ft. floor area in Community Commercial.
3. "Roadways" include all streets shown on the Land Use Plan (Figure 1-2)
4. In addition to the 125.09 acres of open space, formally landscaped areas within the commercial districts, which include landscape buffers, contribute approximately 55.08 acres to the overall formal and informal open space within Kiley Ranch North. Per SMC 20.18, a minimum of 20% (166.90 acres) common open space is required. A total of 180.17 acres will be provided which equates to 21.59% common open space.
5. Assumes that project builds out either all multi-family residential or all single family residential, although a mix of uses could occur.
6. Number of units/density is not applicable to assisted living, group residential care or residential retirement facilities that have common dining facilities.
7. A maximum of 242 residential units will be permitted within the school site if the school is not built. The allowable density of the adjoining residential area will be applied to the school site. If the school is built, then these units may be transferred to the Village Center.
8. Additional units may be transferred to the Village Center as define in Permitted Units Transfers in Chapter 1 of the Development Handbook.
9. Total open space equals commercial, office/business park, public facilities, subtotal open space and MUR required open space.

1.4 Handbook Provisions

1.4.1 General Provisions

This Kiley Ranch North Phase 6 Final Development Handbook (the “Handbook”) describes in general terms when, where and how development will occur within Phase 6 of the Kiley Ranch North Development Project (“Phase 6”). It provides sufficient specificity to establish a base qualitative standard (the “Development Standards”) for all of Phase 6. It provides design parameters (the “Design Parameters”) to which each Individual Project built within Phase 6 will conform. It is intended to offer design flexibility while at the same time maintaining minimum standards. Chapter 2 of the Handbook contains standards and regulations relative to development, which establish the Development Standards for Phase 6. Chapter 3 contains standards and parameters relative to design, which establish the Design Standards and Guidelines for new development within Phase 6.

1.4.2 Binding Effect of Handbook

Pursuant to NRS 278A.520, NRS 278A.570 and the Development Agreement, the Handbook cannot be modified or otherwise impaired by the action of the City without the consent of the Master Developer and any required landowner, except as specified in NRS 278A.410. Similarly, pursuant to NRS 278.0201, as a result of the Development Agreement, the ordinances, resolutions or regulations applicable to Kiley Ranch North and governing the permitted uses in it, the density and standards for design, improvements and construction on it are those in effect at the time the Development Agreement was made.

Hence, the Handbook is binding on the City and cannot be changed without the consent of the owner. In the event that either (i) the City is required to consider a request under a discretionary approval process contained herein, or (ii) an application for Final Approval is not in Substantial Compliance with Tentative Approval and a public hearing is held to approve such application, then the City’s approval of such request or application may be conditioned on a modification to a provision in the Handbook outside the scope of such request or application only if the City finds that there exists a reasonable relationship between such modification and the request or application, such finding to specify how the modification is reasonably related to the request or application. Subject to the foregoing sentence, a Final Approval of one Phase shall not alter, modify, or otherwise impair the Handbook as to the remaining phases of Kiley Ranch North. Furthermore, the City shall not allow amendments to this Handbook without the approval of the owner, as required.

The standards set forth in the Final Approval of Phase 6, as embodied in the NUD zoning classification and this Final Handbook shall, in accordance with NRS 278A.570, supersede any zoning and subdivision statutes that may otherwise apply. In case of a conflict, this Final Handbook and the terms of the Final Approval of Phase 6 shall control. When not addressed by this Final Handbook or the terms of a Final Approval, the provisions of the Sparks Municipal Code shall control.

1.5 Individual Project Approval Process

1.5.1 General Provisions (Multi-Family For Rent Projects)

The review process for Individual Multi-family for rent projects includes review by the Design Review Committee and the Plan Review Committee as well as other City departments.

Phase 6 is comprised of one or more residential projects (each an “Individual Project”). Prior to development of an Individual Project, such Individual Project shall be reviewed to determine that it meets and conforms to the standards and guidelines of this Final Handbook, following the plan review approval process set forth in this Section 1.5. In addition, any Individual Project requiring a Special Use Permit (as identified in Table 2-1) must adhere to the normal City of Sparks Special Use Permit process; provided that the application for a Special Use Permit may be processed concurrently with the Final Approval of Phase 6 in which the Individual Project is located and/or the review process set forth in this Section 1.5.

An Owner, Master Developer or Guest Builder of an Individual Project is referred to hereinafter as the “Project Applicant.” Prior to submitting plans for an Individual Project to the City for review and approval, a Project Applicant shall first obtain approval of the plans from the Kiley Ranch Design Review Committee (the “DRC”), pursuant to a review and certification process set forth in covenants and conditions recorded by the Master Developer that encumber some or all of Kiley Ranch North (“Kiley Covenants”). After obtaining such certification, the plans shall be submitted to the City Plan Review Committee (the “Plan Review Committee”) to assure that each Individual Project meets or exceeds the Development Standards (see Chapter 2) and fits within the Design Standards and Guidelines (see Chapter 3) established by this Final Handbook.

With regard to all determinations made by the administrator under this Section 1.5, the administrator may grant a deviation of up to twenty percent (20%) from the standards and guidelines in the Final Handbook without conducting a hearing, so long as such deviation will not impair the purpose of the Final Handbook (each a “Minor Deviation”); provided, however, that in no event shall a Minor Deviation be granted to change the maximum number of residential units or commercial square footage and/or open space acreage, or change or relocate tentatively-approved land use designations as shown on the Master Plan, as set forth on Figure 1-2 of this Final Handbook (provided that adjustments to the boundaries of such land use designations due to changes in the locations of streets dividing two such designations shall not constitute a relocation of a land use designation). In accordance with Section 20.70.020 of the Sparks Municipal Code, the administrator may grant minor deviations from requirements established for a zoning district without conducting a hearing if the applicant for a minor deviation obtains the written consent of the owner of any real property that would be affected by the proposed minor deviation. Minor deviations include, but are not limited to, adjustments of the location and/or dimensions of buildings, parking areas and internal roadways, providing such adjustments do not change any points of ingress or egress to the site. Furthermore, whenever the administrator (in all the foregoing capacities), at any time in the approval processes set forth in Section 1.5 of this Final Handbook, denies the request of a Project Applicant or grants its approval subject to conditions, the administrator shall state in writing with specific standards, guidelines or parameters with which the Individual Project fails to conform. If the Project Applicant does not accept the administrator’s conclusions or conditions, the Project Applicant may appeal the City’s decision to the Planning Commission,

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and thereafter to the City Council, pursuant to the general appeal rights in the Sparks Municipal Code (the “Appeal Rights”).

Approval of the plans for an Individual Project may be sought either after Final Approval of this Final Handbook or concurrently with the Final Approval process; provided, however, that in no event shall approval from the Plan Review Committee be completed prior to completion of the Final Approval process. In the event of any conflict between the plan review process set forth in this Final Handbook and any other review process used by the City, this Final Handbook shall control. Where this Final Handbook is silent on a particular approval procedure, the Sparks Municipal Code or other regulations governing development of land in effect at the time shall prevail.

Applications for residential Individual Projects are subject to different approval processes and are addressed separately in the following sections. For definition purposes, an “Individual Single-Family Project” is defined as one that is built as “for sale” residential housing, whether attached or detached; an “Individual Multi-Family for Rent Project” is defined as one that involves multi-family “for rent” projects.

Individual Single Family Projects may include condominiums planned for rental.

It is incumbent upon the Project Applicant to become familiar with the DRC’s and the City’s review process and application requirements. Refer to Figure 1-6 – Individual Project Approval Process.

PHASE I: PRE-APPLICATION PROCESS

Step 1: A Project Applicant contacts the DRC and the City of Sparks’ Community Services Department to clarify the requirements, standards and policies as identified in this Final Handbook and requests a pre-application conference.

Step 2: The Project Applicant attends a pre-application conference first with the City Staff. The Project Applicant obtains feedback from attendees and obtains the necessary application(s) and submittal requirements. At this time it shall be determined whether a Special Use Permit will be required for the Project.

PHASE II: CITY OF SPARKS APPROVAL PROCESS

The second phase consists of the City of Sparks’ approval process. The process outlined below is somewhat simplified for reference purposes. Project Applicants should familiarize themselves with all City requirements and timelines.

Step 3: A Project Applicant submits the required fee(s) and completed application(s) to the City (using the City of Sparks Application Checklist obtained from the City). The application is reviewed for completeness by City Staff and distributed to appropriate City departments and commenting agencies for comments. Evidence of DRC approval shall be submitted.

Step 4: The Project Applicant attends a Plan Review meeting(s) in which the Plan Review Committee will discuss the project's conformance with the Development Standards set forth in this Final Handbook. Following the Plan Review Meeting, the Plan Review Committee will issue a conditional approval letter or denial letter.* The Project Applicant may exercise their appeal rights if they do not accept the Plan Review Committee's denial or conditional approval.

Step 5: If a special use permit is required, a Planning Commission public hearing is held to approve the Special Use Permit. If an appeal is filed, a public hearing is held before the City Council to approve the Special Use Permit.

*The City reserves the right to include as a condition of the Site Plan Review approval that an individual project's architecture be reviewed and approved by the Planning Commission as a General Business item prior to the issuance of a building permit for the individual project.

Step 6: Submit for Building Permit

1.5.2 Residential Project Approval Process (Single Family Projects)

The review process for Individual Single-Family Projects includes review by the DRC and the Plan Review Committee as well as other City departments. In addition, the review process for Individual Single-Family Projects includes approval of a Tentative Map and a Final Map. The process consists of three distinct, but interrelated phases generally described below, but more specifically described in NRS 288.330 – 278.353 and NRS 278.360 – 278.460:

- 1) The first phase is the pre-application process. It is during this phase that the Project Applicant becomes familiar with the application requirements and obtains feedback on preliminary design ideas.
- 2) The second phase consists of both the DRC and the City of Sparks Tentative Map process.
- 3) The third phase is the Design Review/Final Map approval process by the City of Sparks.

The Individual Single-Family Project approval process is referenced below but it is incumbent upon the Project Applicant to become familiar with the DRC and City review process and application requirements. Refer to Figure 1-6 – Residential Project Approval Process for schematic of process for project approval.

Individual Single Family Projects may include condominiums planned for rental.

PHASE I: PRE-APPLICATION PROCESS

Step 1: A Project Applicant contacts the DRC and the City of Sparks Department of Community Services to clarify the requirements, standards, and policies as identified in this Final Handbook and to request a pre-application conference.

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Step 2: The Project Applicant submits to the DRC and the Community Services Department a preliminary Tentative Map and a general description of the public and/or private street network and public utilities, landscaping and common open space, a phasing plan, dwelling units per acre, the total number of units and the total acreage within the proposed Individual Single Family Project.

Step 3: The Project Applicant attends a pre-application conference first with the DRC and then with the Department of Community Services staff and other appropriate City departments. The Project Applicant obtains feedback from attendees and obtains the necessary application(s) and submittal requirements.

PHASE II: TENTATIVE MAP APPROVAL PROCESS

Step 4: Following the procedures set forth in the Kiley Covenants, the Project Applicant obtains DRC Certification of its Tentative Map.

Step 5: The Project Applicant shall submit DRC Certification, required fee(s) and completed application(s) to the City (using the City of Sparks Tentative Map Application Checklist obtained from the City). The application is reviewed for completeness by Community Services staff and distributed to appropriate City departments and reviewing agencies for comments.

Step 6: The Project Applicant attends a meeting(s) with Community Services staff and appropriate City departments to discuss the application and offer comments. Staff will review the Tentative Map's conformance with the Sparks Master Plan, this Final Handbook, and all applicable statutes, regulations and ordinances. The Community Services staff recommends approval of the Tentative Map and provides conditions of approval to cause the Tentative Map to conform to this Final Handbook and the Sparks Master Plan.

Step 7: The Community Services staff recommendations on the Tentative Map will be forwarded to the Planning Commission for their review. The Planning Commission shall review the Tentative Map application and shall forward their recommendation of approval with conditions to the City Council.

Step 8: A City Council hearing is held to approve the Tentative Map.

PHASE III: FINAL MAP APPROVAL PROCESS

Step 9: Following the procedures set forth in the Kiley Covenants, the Project Applicant obtains DRC Certification of its Final Map.

Step 10: The Project Applicant shall submit the DRC Certification, required fee(s) and completed final map application to the Community Services Department. Community Services staff reviews the proposed Individual Residential Project for compliance with the Tentative Map conditions and Development Standards of this Final Handbook. A part of this review will be the approval of model home design and landscaping, both front lot and streetscape.

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Step 11: City of Sparks Community Services Department schedules a “fatal flaw review” and a “redline comments” meeting with the Project Applicant.

Step 12: Once the Project Applicant modifies the proposed Individual Single-Family Project based on the redline comments, the Project Applicant resubmits for final review.

Step 13: The Final Map is scheduled for City Council as a consent item once all map signatures, bonds, and other required documents are submitted. City Council shall also review the proposed model homes, landscaping, lot configuration, streetscaping, etc. for consistency with the Handbook standards

Step 14: Final Map is recorded.

Step 15: Issuance of Building Permit(s).

1.5.3 Permitted Unit Transfers

The approved Kiley Ranch North Master Plan and Tentative Handbook, along with this Phase 6 Final Handbook designate “bubble” planning areas for commercial, public/institutional, residential or mixed residential uses (“Master Plan Areas”). The number of dwelling units allowed within any specific Master Plan Area is calculated by multiplying the acreage of the Master Plan Area by the maximum allowed density for the land use designation for that area (the “Permitted Units”). For purposes of this Section 1.5.3, Permitted Uses shall refer to dwelling units only. Notwithstanding the Permitted Units allowed within any particular Master Plan Area, Permitted Units may be transferred from one Master Plan Area (“Sending Area”) to another (“Receiving Area”) under the following conditions:

1. Permitted Units may be transferred from one Master Plan Area to another within Kiley Ranch North; no such transfers will be allowed to or from development areas outside Kiley Ranch North.
2. Before and after each transfer, the sum total of Permitted Units for all of the Master Plan Areas may not exceed 4,463; densities for residential uses may not be exchanged with or converted to non-residential uses under this agreement.
3. The number of Permitted Units transferred to any Receiving Area shall not exceed the maximum density for such area (as indicated in the Master Plan) by more than ten percent (10%), provided that the foregoing 10% limitation shall not apply when the Receiving Area is the area designated in the Master Plan as the “Village Center.”
4. The owner of the Receiving Area must present evidence satisfactory to the Community Services Department that there will be adequate infrastructure serving the Receiving Area to accommodate the increase in Permitted Units.

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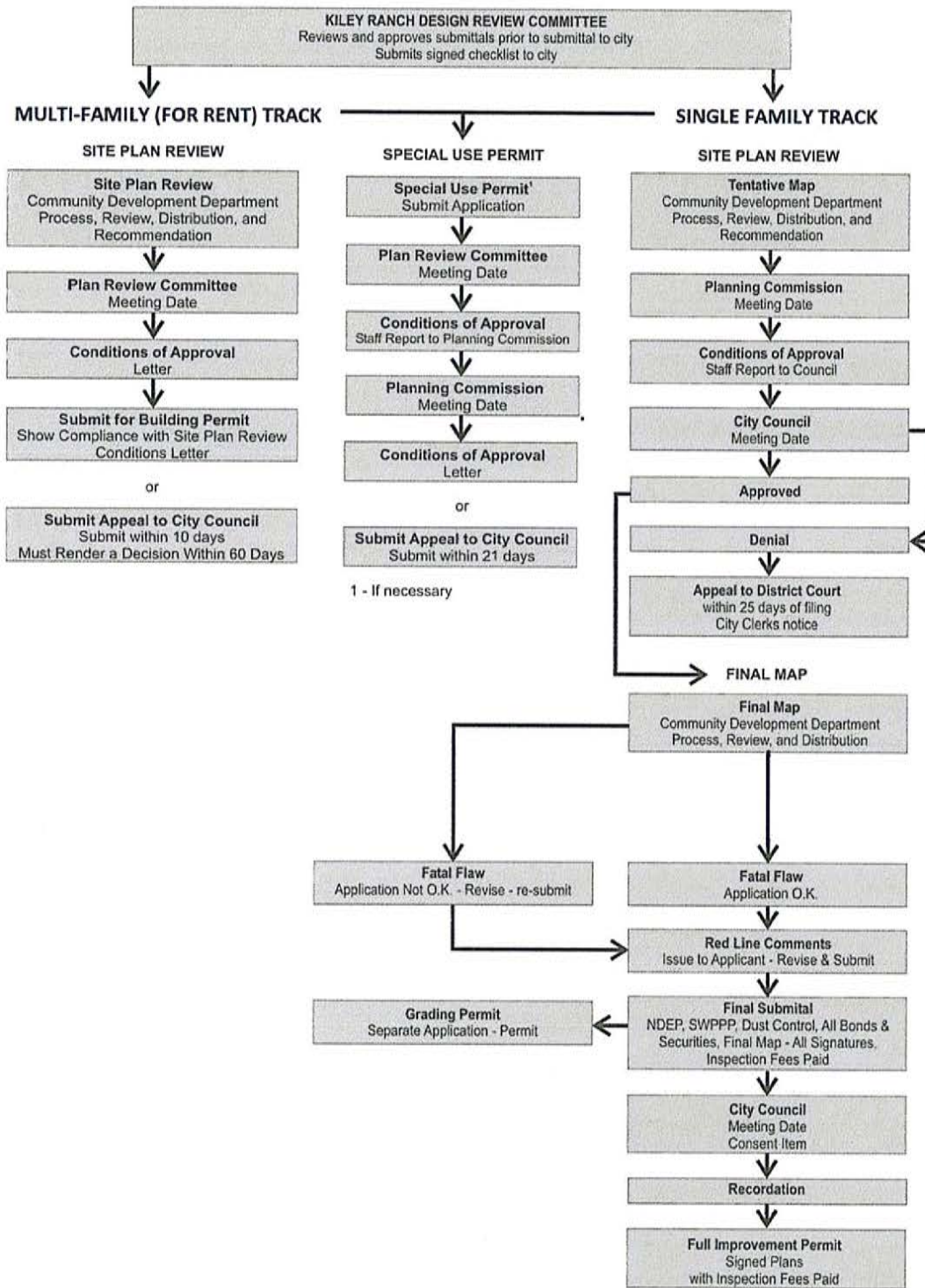


Figure 1-6 – Individual Project Approval Process

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To effectuate a transfer of Permitted Units, the owners of the Sending Area and Receiving Area must jointly petition to the Community Services Department for permission to transfer, to the approval of the Administrator of Community Services. Community Services may approve transfers of Permitted Units as Minor Deviations from the plan so long as the conditions set forth above have been met. If the conditions in the foregoing sentence are not met, the transfer must be processed as an amendment to the Final Handbook, and, become appurtenant to the real property of the Receiving Area.

All transfers shall be logged onto a “transfer log” maintained by the City.

CHAPTER 2 – DEVELOPMENT STANDARDS

2.1 Purpose and Compliance

The purpose of Chapter 2 is to set regulatory requirements for the various land uses located within Kiley Ranch North Phase 6. These requirements include standards for land use, density/intensity, walls, signs, trails, parking, lighting, and landscaping. In addition, standards for the design of rights-of-way, landscape buffers, and entries are also addressed. All development shall comply with the text, policies, standards, and associated tables and exhibits of this Final Handbook. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply. Where this Final Handbook remains silent, the provisions and definitions within the City of Sparks Municipal Code and Subdivision Regulations shall apply.

2.2 Land Use Development Standards

2.2.1 Residential Areas – LMR, MR, and MHR

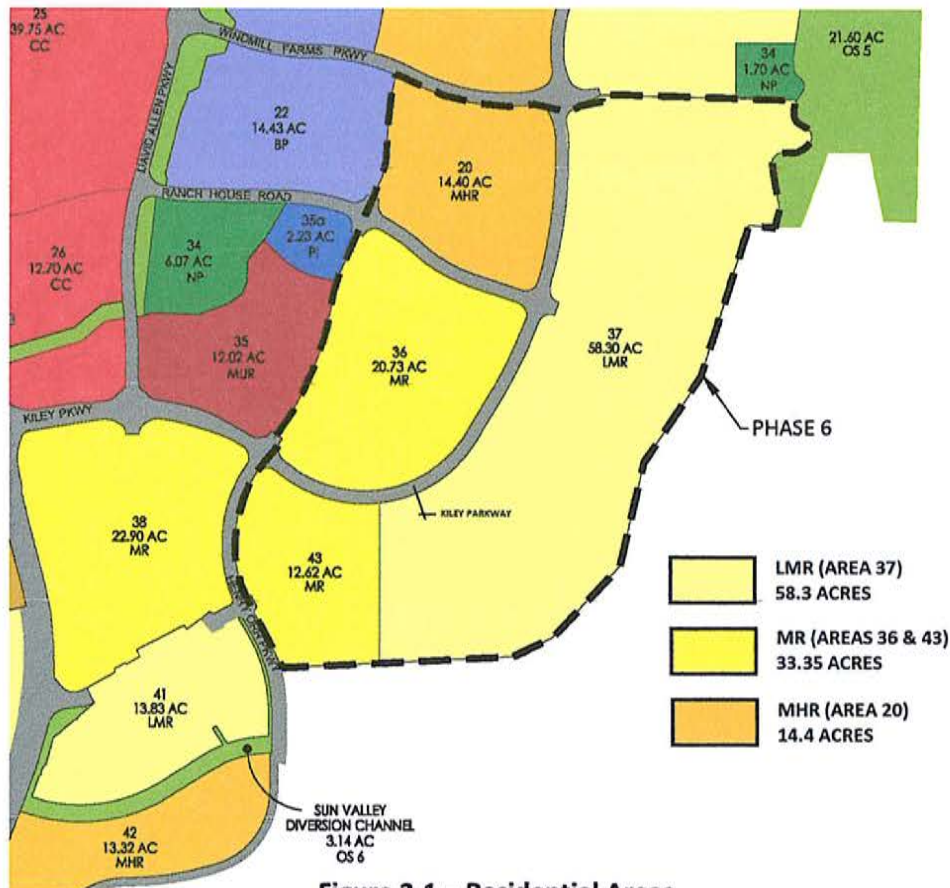


Figure 2-1 – Residential Areas

2.2.2 Description

The residential land uses with Phase 6 allow a variety of housing densities and types. Three land use designations are permitted within Phase 6 including Low-Medium, Medium, and Medium-High Residential. These categories are intended to provide for a mix of housing types over density ranges that may overlap in density with another category. Uses such as childcare facilities and other Public/Institutional uses which are determined to be compatible with and oriented towards the needs of these residential neighborhoods, may also be allowed (refer to allowed uses/Land Use Matrix – Table 2-1). The following is a description of each of these residential categories:

LOW-MEDIUM (LMR)-4.0–7.9 du/net acre

The LMR designation allows single family detached homes in a variety of lot configurations and styles. Lot sizes typically range from 3,000 to 5,000 square feet. Typical housing types include standard single family detached, detached zero lot line, alley-loaded design, and cluster detached housing. This land use designation is generally located on the edge of the community.

MEDIUM (MR) 6.0-11.9 du/net acre

This designation allows single family detached and attached homes. Lot sizes typically range from 2,000 to 4,500 square feet. Typical housing types include small town lot single family detached, detached zero lot line, and alley loaded design. It also includes townhomes, cluster detached and attached housing, and for-sale or for-rent condominiums. This land use designation is primarily located near commercial uses and community facilities.

MEDIUM-HIGH (MHR): 12.0-17.9 du/net acre

This designation allows rental and for-sale single family attached products and multi-family dwellings. Typical product types include townhomes, attached cluster products, row houses, and for-sale/for-rent condominiums. This designation is generally located adjacent to business park uses and the Village Center.

2.2.3 Land Use Areas

The following table summarizes the area of residential land use within Phase 6.

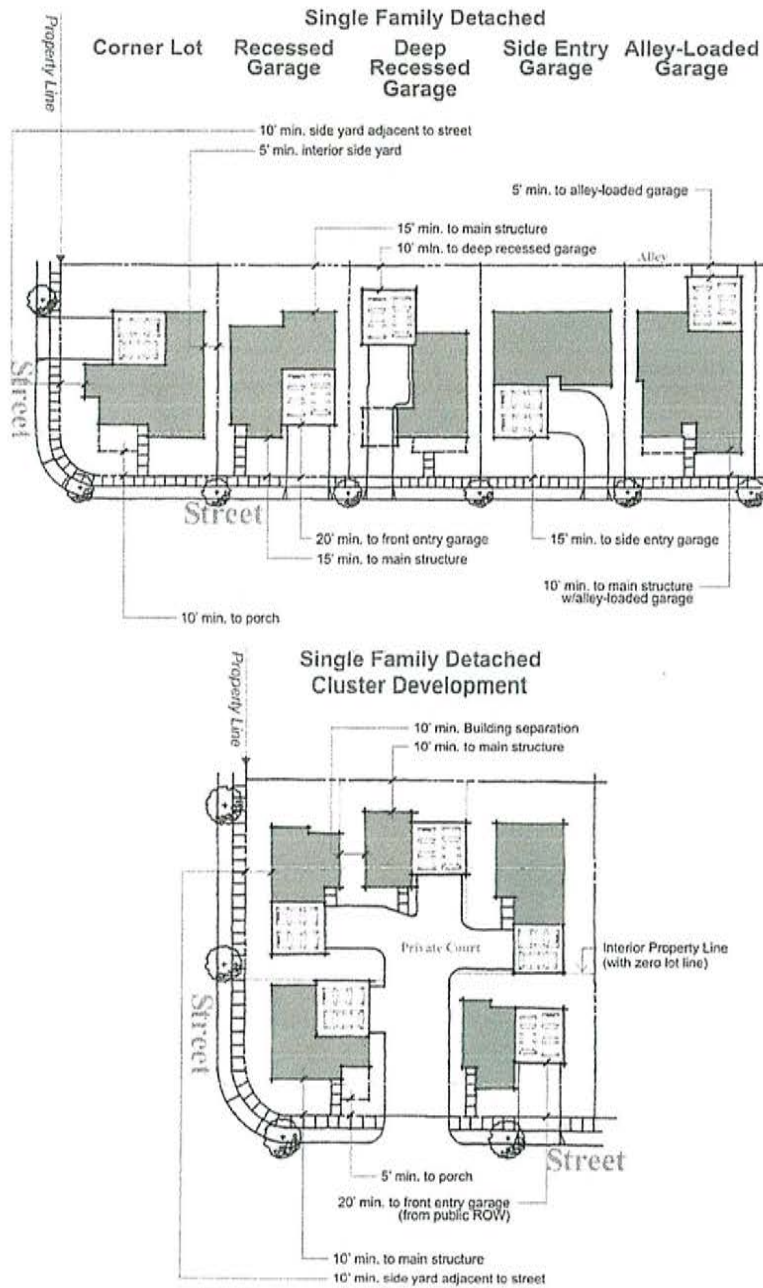
<i>Land Use</i>	<i>Gross Acreage</i>
LOW-MEDIUM RESIDENTIAL (LMR)	58.30± acres
MEDIUM RESIDENTIAL (MR)	33.35± acres
MEDIUM-HIGH RESIDENTIAL (MHR)	14.40± acres
TOTAL	106.05± acres

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2.2.4 Setbacks and Density/Intensity Requirements

TYPE	LOW-MEDIUM RESIDENTIAL (LMR) - 4.0 - 7.9 du/ac		
DESCRIPTION	This designation is intended to provide single family detached homes in a variety of lot configurations and styles. Typical housing types include standard single family detached, detached zero lot line, alley-loaded design, and cluster detached housing.		
	STANDARD SFD	CLUSTER SFD	NOTES
BUILDING INTENSITY			
Maximum Net Density (du/ac)	7.9	7.9	
Lot Size (minimum)	3,000 sq. ft. min.	3,000 sq. ft. min.	
Minimum Lot Width	35 ft.	35 ft.	
Building Height	35 ft. max.	35 ft. max.	
LANDSCAPING			
Landscape Requirement	Min. 20% of lot	Min. 20% of lot	
BUILDING SETBACKS FROM PROPERTY LINES			
FRONT YARD SETBACKS			
To Main Structure w/ Front Entry Garage	15 ft. min.	10 ft. min.	
To Porch	10 ft. min.	5 ft. min.	
To Front Entry Garage (from public ROW)	20 ft. min.	20 ft. min.	
To Side Entry Garage	15 ft. min.	10 ft. min.	
To Main Structure w/ Alley Loaded Garage	10 ft. min.	10 ft. min.	
SIDE YARD SETBACKS			
Interior Side Yard	0 or 5 ft. min.*	0 or 5 ft. min.*	*10 ft. min. building separation.
Side Yard Adjacent to Street	10 ft. min.	10 ft. min.	
REAR YARD SETBACKS			
To Main Structure	15 ft. min.	10 ft. min.	
To Alley Loaded Garage	5 ft. min.	5 ft. min.	
To Deep Recessed Garage	10 ft. min.	10 ft. min.	
BUILDING PROJECTIONS	Refer to Section 20.34.030 of the Sparks Municipal Code		
ACCESSORY USES			
Accessory uses shall be permitted pursuant to Chapter 20.43 of the Sparks Municipal Code			

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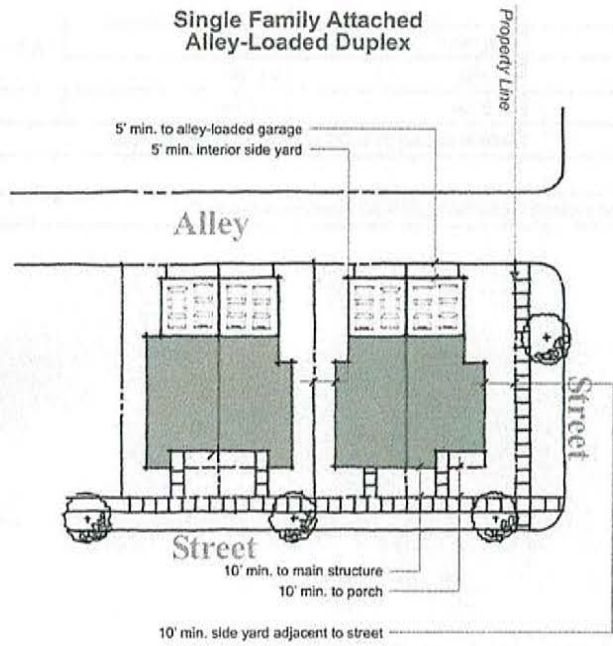
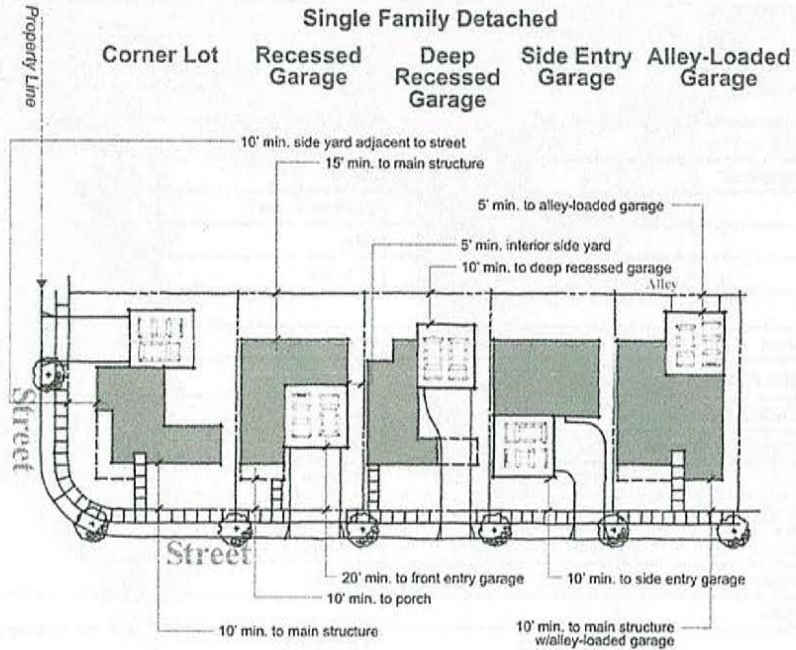


NOTE: These prototype site plans are conceptual in nature and are only two of many design solutions that are permitted in this land use designation.

Figure 2-2 – Typical LMR Residential Prototypes

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TYPE/DESCRIPTION	MEDIUM RESIDENTIAL (MR) - 6.0 - 11.9 du/net acre			
	This designation is intended to provide single family detached and attached homes in a highly segmented range of product types. Typical housing types include small town lot single family detached, detached zero lot line, alley-loaded design, townhomes, cluster detached and attached housing, and condominiums. This category may include for-rent multi-family units.			
	SINGLE FAMILY DETACHED	SF ATTACHED	MULTI-FAMILY	NOTES
BUILDING INTENSITY				
Maximum Net Density (du/ac)	11.9	11.9	11.9	Multi-family use shall not exceed a 70% building coverage. Building separation for multi-family shall be a minimum of 20'.
Lot Size	2,000 sq. ft. min.	2,000 sq. ft. min.	2,000 sq.ft. min.	
Minimum Lot Width	30 ft.	30 ft.	30 ft.	
Building Height	35 ft. max.	35 ft. max.	35 ft. max.	
LANDSCAPING				
Landscape Requirement	Min. 20% of lot	Min. 15% of parcel	Min. 20% of parcel	
BUILDING SETBACKS FROM PROPERTY LINES				
FRONT YARD SETBACKS				
To Main Structure w/ Front Entry Garage	10 ft. min.	10 ft. min.	10 ft. min.	
To Porch	10 ft. min.	10 ft. min.	10 ft. min.	
To Front Entry Garage (from public ROW)	20 ft. min.	20 ft. min.	20 ft. min.	
To Side Entry Garage	10 ft. min.	10 ft. min.	10 ft. min.	
To Main Structure w/ Alley Loaded Garage	10 ft. min.	10 ft. min.	10 ft. min.	
SIDE YARD SETBACKS				
Interior Side Yard	0 or 5 ft. min.	0 or 5 ft. min.*	20 ft. min.	*10 ft. min building separation (SF) *20 ft. min building separation (MF)
Side Yard Adjacent to Street	10 ft. min.	10 ft. min.	10 ft. min.	
REAR YARD SETBACKS				
To Main Structure	15 ft. min.*	10 ft. min.	10 ft. min.	*10 ft. min for cluster SFD
To Alley Loaded Garage	5 ft. min.	5 ft. min.	5 ft. min.	
To Deep Recessed Garage	10 ft. min.	10 ft. min.	10 ft. min.	
BUILDING PROJECTIONS	Refer to Section 20.34.030 of the Sparks Municipal Code			
ACCESSORY USES				
Accessory uses shall be permitted pursuant to Chapter 20.43 of the Sparks Municipal Code				

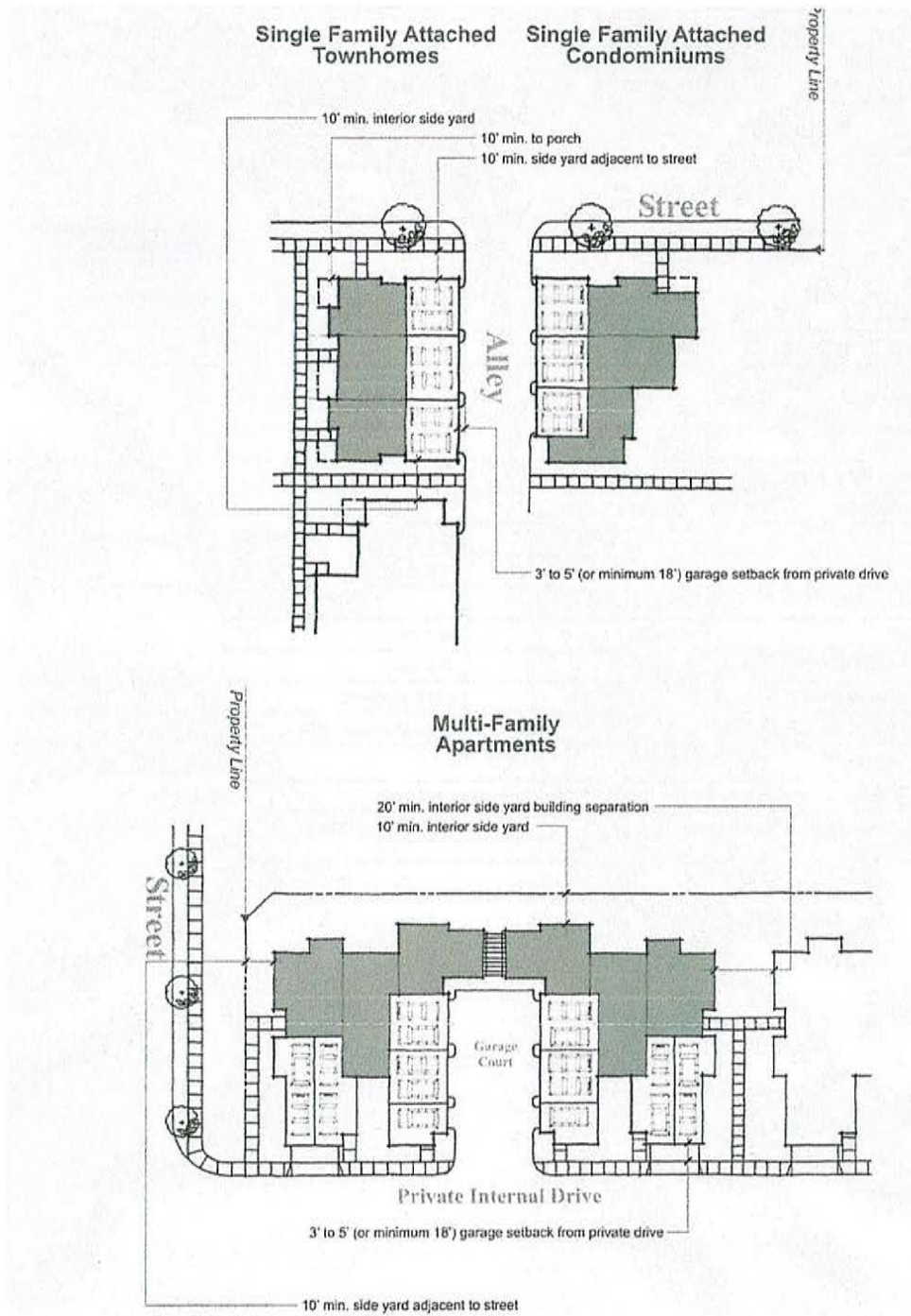


NOTE: These prototype site plans are conceptual in nature and are only two of many design solutions that are permitted in this land use designation.

Figure 2-3 – Typical MR Residential Prototypes

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TYPE/DESCRIPTION	MEDIUM-HIGH RESIDENTIAL (MHR) - 12.0 - 17.9 du/net acre		
	This designation is intended to provide for a wide range of single family attached products and multi-family dwellings. Typical product types include townhomes, attached cluster products, row houses, and condominiums. Multi-family may include for-rent units.		
	SF ATTACHED	MULTI-FAMILY	NOTES
BUILDING INTENSITY			
Maximum Net Density (du/ac)	17.9	17.9	*12 ft. min. between porches, patios or balconies.
Building Coverage	65% max.	70% max.	
Building Separation	0 ft. or 10 ft. min.	20 ft. min.*	
Building Height	40 ft. max.	40 ft. max.	
LANDSCAPING			
Landscape Requirement	Min. 15% of parcel	Min. 20% of parcel	
BUILDING SETBACKS FROM PROPERTY LINES			
FRONT YARD SETBACKS			
To Structure	10 ft. min.	10 ft. min.	
To Porch/Patio	10 ft. min.	10 ft. min.	
To Front Entry Garage (from public ROW)	20 ft. min.	20 ft. min.	
SIDE YARD SETBACKS			
Interior Side Yard	0 ft. or 10 ft. min.*	20 ft. min.*	*Building separation.
Side Yard Adjacent to Street	10 ft. min.	10 ft. min.	
REAR YARD SETBACKS			
To Main Structure	10 ft. min.	10 ft. min.	
To Porch/Patio	10 ft. min.	10 ft. min.	
To Garage (from private drive)	3' to 5' or min 18' ¹	3' to 5' or min 18' ¹	
BUILDING PROJECTIONS	Refer to Section 20.34.030 of the Sparks Municipal Code		
ACCESSORY USES			
Accessory uses shall be permitted pursuant to Chapter 20.43 of the Sparks Municipal Code			
1 - This standard may be waived if the applicant can demonstrate that the parking of vehicles will be prohibited from encroaching into the private drive and an enforcement mechanism will be established.			



NOTE: These prototype site plans are conceptual in nature and are only two of many design solutions that are permitted in this land use designation.

Figure 2-4 – Typical MHR Residential Prototypes

2.2.5 Walls and Fences

Walls and fences within Phase 6 shall comply with the following standards as well as the regulations contained within Sections 20.37.020.A and 20.37.020.D of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

Walls and fences shall be used to separate individual residential lots or between residential parcels. Walls shall be a maximum six (6) feet in height and be constructed of wood and/or masonry material.

Decorative front yard fencing shall be a maximum of three (3) feet in height for solid construction and four (4) feet in height for open construction and not be within the visibility triangle for motorists. The fencing must also be incorporated into the architectural design of the house.

All side yard walls and fences shall be set back a minimum of two (2) feet from the front facade of the home.

When changes in elevation occur, all walls shall be stepped in equal, vertical intervals. No step should exceed 12 inches, where feasible.

Refer to Section 3.2.2.6 for design standards and guidelines related to the screening of walls.

Chain link may be used on a temporary basis at construction sites.

Vinyl coated chain link may be used as a fencing material for outdoor private or public park facilities such as but not limited to perimeter fencing, baseball backstops, swimming pools, spas, or tennis courts.

Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the DRC and the City of Sparks.

COMMUNITY WALLS

- a) Community walls are intended for multi-family projects.
- b) Community walls shall be located where necessary to provide privacy, security and protection from roadway noise associated with arterial and collector roads.
- c) Community walls shall not exceed six (6) feet in height and shall be maintained by the Guest Builder if on private property or the Master Developer or the LMA if within a landscape buffer area.
- d) Community walls shall be constructed of masonry or other permanent, durable, low maintenance decorative materials and be of a consistent design throughout the community of Kiley Ranch North Phase 6.

- e) The use of berms may be used to minimize wall height, but the combined height of the wall and berm shall not exceed six (6) feet.
- f) Long continuous lengths of perimeter walls shall be landscaped with trees and shrubs and shall not exceed 50 feet without incorporating at least one of the following for the entire length of the wall:
 - 1) A minimum two (2) foot change in the wall plane for at least 10 feet;
 - 2) A minimum 18-inch raised planter for at least 10 feet;
 - 3) Use of pilasters at 50-foot intervals, at property corners or at changes in wall planes;
 - 4) A section of view fencing a minimum of four (4) feet in height for at least 10 feet.
- g) Community walls shall only be used in conjunction with multi-family structures when they are necessary for protection from roadway noise or screening of service and utility areas from public rights-of-way.
- h) Refer to Section 3.2.1.5 for design standards and guidelines related to community walls as well as Figure 3-3.

COLLECTOR FENCES

- a) Collector fencing shall in the rear yard of those lots abutting collector roadways (i.e. Kiley Parkway, Windmill Farms Parkway, Ranch House Road, Henry Orr Parkway).
- b) Collector fencing shall not exceed six (6) feet in height and be placed within the hardscape buffer areas to be maintained by the Master Developer or LMA.
- c) Collector fences may be constructed from western red cedar or common redwood. Both sides shall include transparent stain as approved by the Kiley Ranch North Design Review Committee.
- d) Collector fences shall include a 2"x6" wooden cap at the top of the fence and a 2"x6" wooden nailer at the bottom.
- e) A 24" square pilaster to include decorative rock (as approved by the Kiley Ranch North Design Review) committee shall be provided at 50 feet on-center minimum.
- f) Refer to Section 3.2.1.5 for design guidelines related to collector fences as well as Figure 3-3.

VIEW FENCES

- a) View fences shall be used where residential uses abut parks, open space, and trails.
- b) View fences shall not exceed six (6) feet in height and shall be maintained by the lot owner.

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- c) View fences shall be constructed of black decorative wrought iron or tubular steel or other similar quality materials.
- d) Split rail fencing may be used along trails and within open space areas in order to define corridors, property lines, etc. Refer to fencing standards in Chapter 3 (Section 3.2.1.5 and Figure 3-4).

SCREEN/PRIVACY FENCES

- a) All single family lots not adjoining open space, parks, trails, etc. shall incorporate screen/privacy fences.
- b) Screen fences shall be six (6) feet in height.
- c) Screen fences may be constructed from western red cedar or common redwood. Both sides shall include transparent stain as approved by the Kiley Ranch North Design Review Committee.
- d) Refer to Section 3.2.1.5 for design guidelines related to collector fences.
- e) Lot owners shall be responsible for all screen/privacy fencing repair and maintenance.

2.2.6 Signs

- a) Signs within Kiley Ranch North Phase 6 shall comply with the regulations governing signs contained within Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- b) Monument signs identifying a single family residential development or multi-family residential project shall be provided at the main entry(s) of each residential development or project. Refer to Section 2.4.8.
- c) Monument signs shall have a maximum height of six (6) feet. No additional freestanding signs shall be permitted with the exception of directional wayfinding signs or traffic control signs. Pylon or pole signs are specifically prohibited.
- d) Neighborhood/project entry signs shall have a consistent design within each project.
- e) Multi-family developments shall provide a directory of the complex at an easily accessible location for visitors. Signs shall be placed throughout the complex where appropriate to assist visitors in locating units.
- f) Monument signs shall be maintained by the Master Developer, the Guest Builder, or the LMA and approved by the DRC. A City of Sparks Sign Permit shall be required.

2.2.7 Wayfinding Signs

- a) A wayfinding sign is a permanent sign that directs the flow of pedestrians or vehicular traffic . Wayfinding signs shall have a maximum height of eight (8) feet. Wayfinding signs shall not be placed any nearer than one hundred (100') feet from intersections or round-abouts and not nearer than fifty (50') feet from required regulatory signage.
- b) Wayfinding signs will be maintained by the Master Developer or LMA and approved by the DRC. A City of Sparks Sign Permit shall be required.



Figure 2-5 – Conceptual Wayfinding Sign

2.2.8 Parking

The following parking requirements are minimums for the following Residential uses. All other general parking requirements and minimum number of spaces required shall comply with the Sparks Municipal Code as specified in Chapter 20.49. Refer to Chapter 3 for design standards and guidelines addressing parking design and layout.

SINGLE FAMILY RESIDENTIAL

Parking Required

1 space/bedroom, but not less than 2 per dwelling unit (DU)

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MULTI-FAMILY RESIDENTIAL

Resident Parking

1 space/efficiency DU (no separate bedroom)
1.5 spaces/1 bedroom DU
2 spaces/2 bedroom DU
2 spaces/3 bedroom DU
2.5 spaces/DU larger than 3 bedrooms+ 0.5 space/additional bedroom

Guest Parking

1 space/10 DU

- a) For units that do not include an attached garage, assigned residential parking shall be provided for.
- b) Resident parking shall be prohibited in guest parking spaces. Guest parking shall be limited to a 24 hour period or other solutions provided that demonstrate the parking of resident vehicles will be prohibited from guest spaces and an enforcement mechanism will be established.

2.2.9 Lighting

- a) Any light source over ten (10) feet high shall incorporate a cut-off shield to confine illumination to the site and protect adjacent properties from glare.
- b) Exterior lights shall not blink, flash or change intensity. String lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited unless approved by the DRC and the City of Sparks.
- c) All sources of light shall be concealed and directed downward. Parking lot, walkway and area lighting shall be directed downward with no light spilling off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.
- d) Lighting shall be placed along primary pedestrian pathways, at pedestrian bridge crossings, parks, and other special high use areas.
- e) Lighting shall have a common design and color within the development.
- f) Bollards shall have a maximum height of 45 inches.
- g) Pedestrian lighting shall be spaced at intervals appropriate to facilitate the safety of the pedestrian.
- h) Light poles and fixtures within each project shall be approved by the Kiley Ranch DRC and the City of Sparks. Where NV Energy approved street lights are used, they shall be maintained by NV Energy or the City of Sparks (for standard poles).

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- i) Lighting within Kiley Ranch North shall comply with the regulations governing lighting contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- j) Refer to Sections 3.2.1.4 (Single-family) 3.2.2.5 (Multi-family) for design guidelines and standards related to lighting.

2.2.10 Landscape

- a) The minimum number of trees to be planted in the required landscape area shall be one tree per 300 square feet.
- b) Multi-family developments shall have a minimum of 10% of the net buildable area or lot area dedicated to usable open space, whether common or private, for recreation and social activities. The 10 percent is not in addition to the 20% minimum total landscape requirement for multi-family developments.
- c) Refer to Section 3.2.1.3 for additional standards and guidelines addressing landscaping within single-family developments. Refer to Section 3.2.2.4 for additional standards and guidelines addressing landscaping within multi-family projects.
- d) Landscaping within Kiley Ranch North Phase 6 shall comply with the regulations governing landscaping contained within Chapter 20.32 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

2.2.11 Service, Trash and Utility Areas

- a) Trash and storage within multi-family developments shall be screened and gated. Trash enclosures shall be finished using materials that complement the project architecture and shall be screened with landscaping on three sides. Refer to Figure 3-10, Typical Multi-Family Service Areas. Gates shall be constructed of durable materials that visually screen the dumpster (minimum 80% screening). Trash collection areas shall be approved by disposal services, DRC and the City of Sparks.
- b) Service, trash and storage areas shall be incorporated into the overall design of the site and building so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Walls used to screen these areas shall have a minimum five (5) foot wide landscaped area located in front.
- c) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened with landscaping or other means approved by the DRC, and incorporated into the streetscape to the approval of the utility company and the City of Sparks.

- d) Rooftop equipment on buildings shall be shielded from view from public streets. Screening will be compatible with the design, form, material and color of the building. All rooftop equipment shall be organized into major groups to the greatest extent possible. It is the intent to screen groupings of equipment with a single architectural massing made of durable materials incorporated into the building design. Lattice work will not be permitted.
- e) Refer to Section 3.2.2.7 for specific standards.

2.2.12 Alleys

- a) Alleys within single-family residential developments shall have a minimum width of 20 feet with no parking. Alleys shall not be used as an emergency access road. Refer to Figure 2-8 for a cross-section of an alley.
- b) Alleys shall be maintained by the adjoining property owner through an easement agreement or by a sub-association to be set up by the Guest Builder.

2.2.13 Miscellaneous

- a) All multi-family attached developments shall incorporate outdoor barbecue areas in centrally located courtyards or recreation areas of the project. Barbecues and other outdoor cooking devices are specifically prohibited from use in individual unit patios and decks.
- b) All units shall have at a minimum, a washer and dryer hook up.
- c) Multi-family /attached single family development over 25 units shall incorporate five (5) of the following recreational facilities: swimming pool, tennis courts, horseshoes, spa, exercise equipment, game room, community room, par course, walking trails (minimum mile in length), picnic areas to include tables with barbecues, volleyball court, basketball court, and lawn areas for field games as approved by the City of Sparks.
- d) The recreational facilities shall be conveniently and centrally located for the majority of the units.
- e) Multi-family/attached single family development over 25 units shall have a secure children's play area with play equipment that is visible from as many units as possible.
- f) All multi-family units shall have a outdoor patio/deck for each unit with a minimum depth of six (6) feet or provide a design solution that satisfies the intent of this standard. The alternative design is subject to the approval of the DRC and the City of Sparks.

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2.3 Permitted and Conditional Uses

Permitted uses, uses requiring a Special Use Permit, and prohibited uses within Phase 6 are provided in the following Land Use Matrix table. This matrix organizes potential uses within the land use categories presented within the Development Plan. The following symbols are used in the matrix to indicate whether a proposed use is permitted, not permitted, or requires a Special Use Permit:

P – Permitted by right within the Development Plan

SP – Special Use Permit required

AN – Ancillary Use – Uses only allowed when permitted uses are present for a particular land use

Empty Cell – Not permitted within the Development Plan

Those uses not specifically listed in the Land Use Matrix table are subject to review based on the consistency with the purpose and intent of the land use designation these Development Standards. All uses shall require a site plan review and approval process from the Site Plan Review Committee, as specified in Chapter 20.31, Sparks Municipal Code and Sections 278.315 and 278.317 of NRS (Nevada Revised Statutes).

Table 2-1 – Land Use Matrix

	Low-Medium Residential	Medium Residential	Medium-High Residential
Land Use Designations	LMR	MR	MHR
RESIDENTIAL LAND USES			
Residential Land Uses including, but not limited to, the following uses:			
Apartments		P	P
Condominiums		P	P
Homefinding/information center; temporary until community sales complete	P	P	P
Residences (single family detached) must comply with density of designation	P	P	P
Temporary real estate offices associated with Model Home complexes (per criteria section 6.1.6)	P	P	P
Townhouse		P	P
Trail Access Points	P	P	P
OPEN SPACE USES			
Open Space Land Uses include, but are not limited to the following uses:			
Bicycle trails and bikeways	P	P	P
Pedestrian trails and walkways	P	P	P

2.4 Streetscape Development Standards

2.4.1 Circulation Plan

The overall Kiley Ranch North project circulation is defined in the Master Handbook and handled through a hierarchy of arterials and collectors that define the structure of the community. The circulation plan is significant to the region because it encompasses the intersection of Sparks Boulevard and Pyramid Highway.

For the purposes of applying design standards and guidelines, the major roadways of Phase 6 are assumed to have the following classification:

Kiley Parkway	Collector
Henry Orr Parkway	Collector
Windmill Farms Parkway	Collector
Ranch House Road	Collector

2.4.2 Roadway Design

Development of roads within Kiley Ranch North, including Phase 6, will generally conform to the circulation plan as shown in Figure 2-6, Circulation Plan. Exact alignments may vary depending on site specific conditions relevant to the individual development parcels. Plans and sections are provided to illustrate the location and hierarchy of roadways and sidewalk/trails. The intent of the roadway system is to provide regional circulation and access to all parcels from the surrounding areas. The plan utilizes curvilinear alignments and landscaped rights-of-way to establish an overall natural setting. Pedestrian and bicycle trails are designed to be separate from vehicular traffic and will link the neighboring uses and communities to the Kiley Ranch North development.

All roadways shall be constructed to the City of Sparks standards and in accordance with the sections for roadways presented in Figures 2-6 through 2-8. Regional Transportation Commission (RTC) roadways in Phase 6 (Kiley Parkway) shall be constructed to RTC standards.

Landscaping within the landscape buffers is designed to enhance and beautify the street corridors along the roadways of Kiley Ranch North. Typical landscape designs for each roadway classification have been incorporated into Section 2.4.4, Streetscape Landscape.

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2.4.3 Access Standards

RTC access management standards and the City of Sparks Public Works design standards shall be used to direct the design of access and layouts for owners or users at their time of development. Accesses and layouts will be reviewed and approved by the Kiley Ranch North Design Review Committee (DRC) and the City of Sparks.

Alleys are an encouraged design alternative within single-family residential areas of Kiley Ranch North Phase 6. An alley is defined as a private way providing a secondary means of access to an abutting property and not intended for general traffic circulation. Alleys shall have a minimum width of 20 feet (Refer to Figure 2-8 for more detail). Alleys are not designed to be used as an emergency vehicle access road. Alleys shall be maintained by the adjoining property owner (through an easement agreement) or by a sub-association established by the Guest Builder.

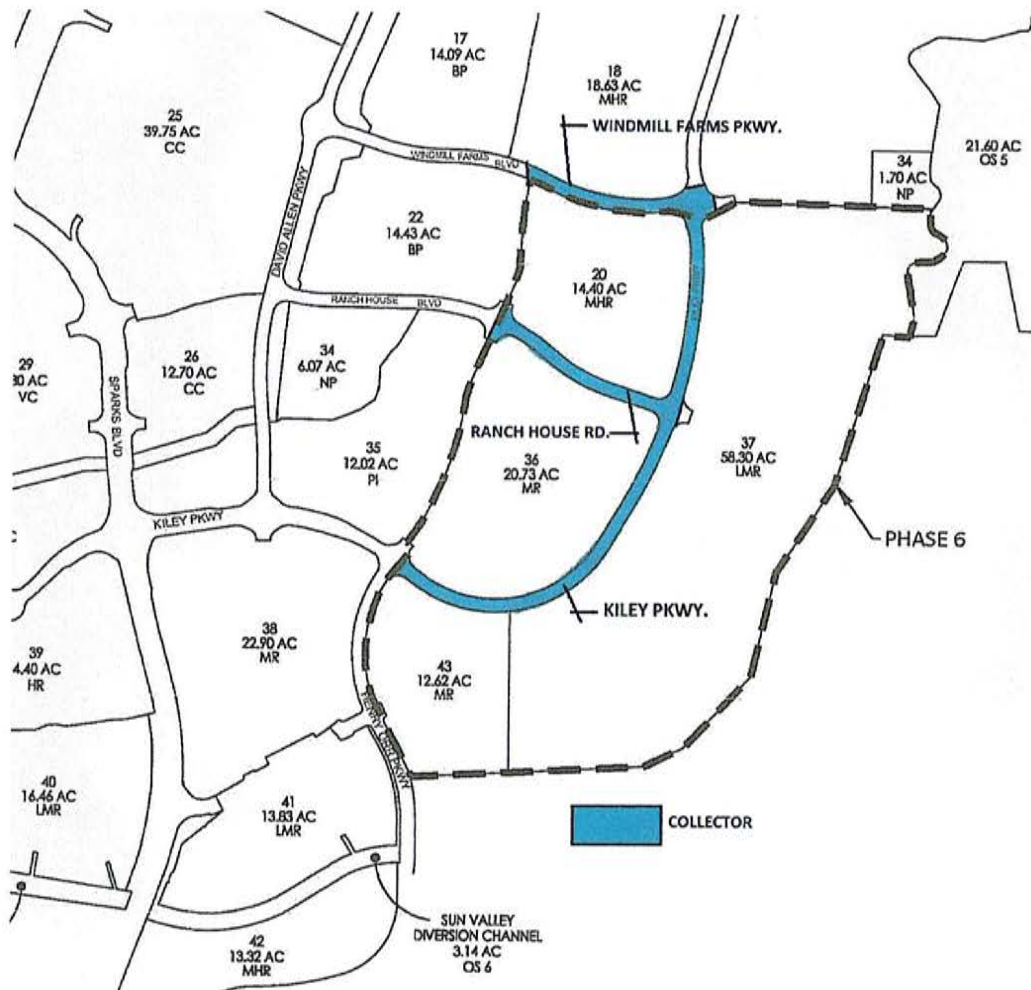
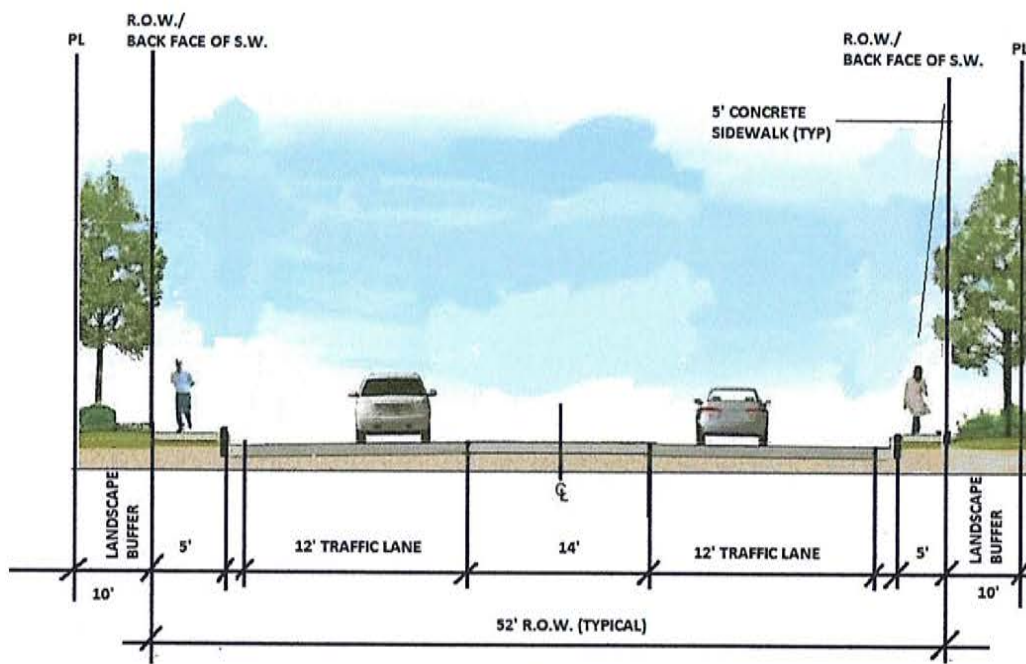


Figure 2-6 – Phase 6 Circulation Plan

KILEY PKWY., HENRY ORR PKWY., WINDMILL FARMS PKWY., RANCH HOUSE RD.



NOT TO SCALE

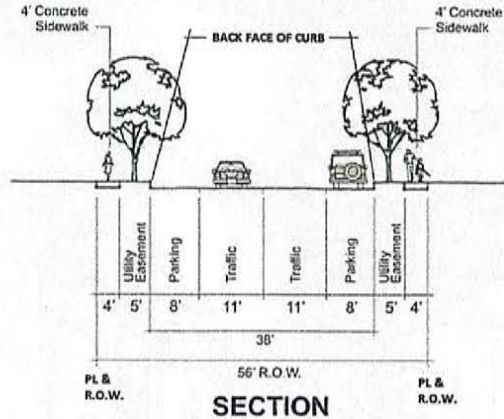
NOTES:

1. SIDEWALK TO BE INSTALLED WITH CONSTRUCTION OF ROADWAY. LANDSCAPE BUFFER AREA TO BE INSTALLED WITH DEVELOPMENT OF ADJACENT PROPERTY.
2. ROAD SECTIONS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO MODIFICATIONS BY THE MASTER DEVELOPER OR THEIR DESIGNEE/ASIGNEE. EXACT DESIGN IS DEPENDENT ON SITE SPECIFIC CONDITIONS.
3. LANDSCAPE BUFFER WILL BE CREATED AS A SEPARATE PARCEL TO BE MAINTAINED BY THE LMA OR THE ADJACENT LOT OWNER. SIDEWALKS TO BE MAINTAINED BY THE CITY OF SPARKS.

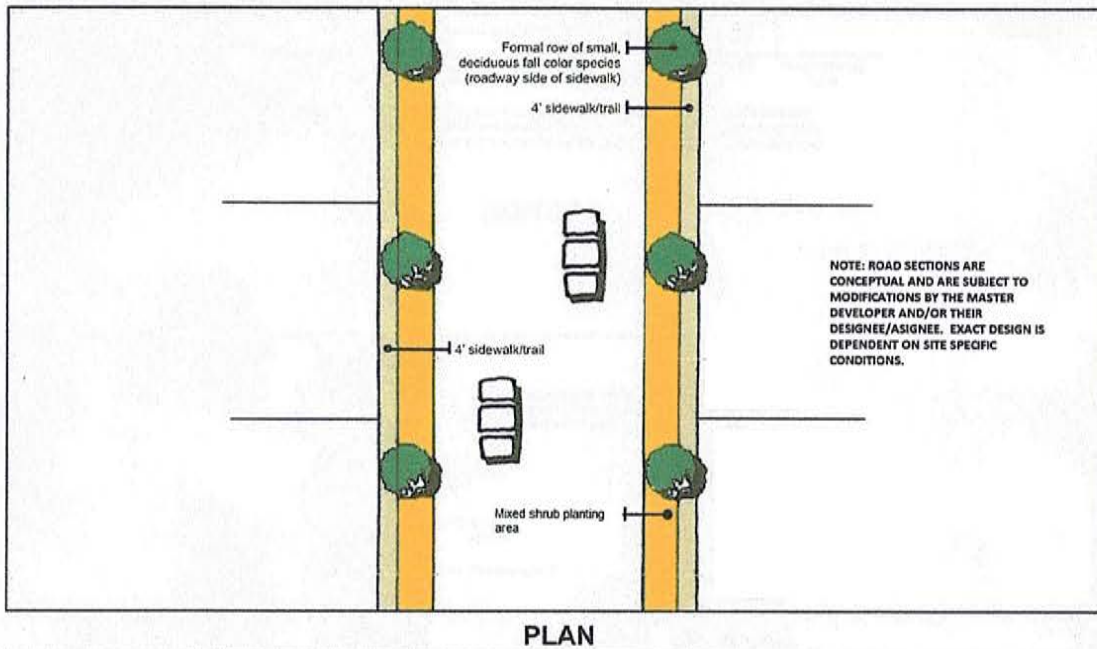
Figure 2-7 – Collector Roadway Detail

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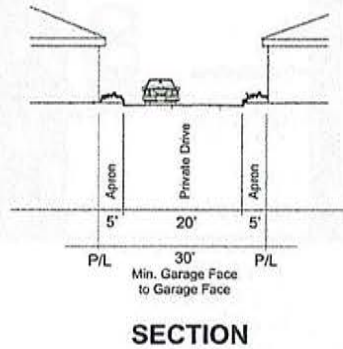
RESIDENTIAL LOCAL STREET



LANDSCAPING IN THE UTILITY EASEMENT WILL BE MAINTAINED BY THE LMA OR ADJACENT LOT OWNER. SIDEWALKS WILL BE MAINTAINED BY THE CITY OF SPARKS.



RESIDENTIAL ALLEY DETAIL



NOTE: ALLEY SECTIONS ARE CONCEPTUAL AND ARE SUBJECT TO MODIFICATIONS BY THE MASTER DEVELOPER AND/OR THEIR DESIGNEE/ASIGNEE. EXACT DESIGN IS DEPENDENT ON SITE SPECIFIC CONDITIONS. ALLEYS ARE PRIVATE AND SHALL BE MAINTAINED BY THE ADJOINING PROPERTY OWNER (THROUGH AN EASEMENT AGREEMENT) OR BY A SUB-ASSOCIATION ESTABLISHED BY THE GUEST BUILDER.

NOT TO SCALE

Figure 2-8– Residential Local/Residential Alley Details

2.4.4 Streetscape Landscape

The arterial and collector streets of Kiley Ranch North have been designed to promote a feeling of openness throughout the development. Each of these streets is adjacent to a landscape buffer between 10 feet to 25 feet on each side of the right-of-way, related to its classification and traffic volume. Table 2-2 outlines the Phase 6 landscape design for these areas. All landscaping within Kiley Ranch North shall be provided in accordance with the City of Sparks Municipal Code unless stricter requirements are identified in this Final Handbook. Landscape design for development projects will be reviewed and approved by the Kiley Ranch North Design Review Committee (DRC) and the City of Sparks.

CONSTRUCTION

Sidewalks and landscaping on the roadway side of the sidewalk are to be installed with the construction of the adjacent roadway. This applies to landscaping within the rights-of-way and landscape buffers along Kiley Parkway and collector roads. Landscape on the development side of the sidewalk will be installed with the initial development of the adjacent property by the Guest Builder. Parkways within single-family residential neighborhoods shall be landscaped or bonded before the occupancy of the affected units.

MAINTENANCE

Landscape located within the right-of-way and the landscape buffer adjacent to collector roadways including local streets shall be maintained by the Kiley Ranch North Landscape Association Inc.(LMA), as spelled out in the adopted Kiley Ranch North Phase 6 Final Handbook. The City of Sparks shall be responsible for the maintenance of all sidewalks/trails within the public right-of-way (including Regional Trail). A public access easement shall be granted to the City of Sparks for all sidewalks/trails located outside the right-of-way. An access easement shall be granted to the LMA or lot owner for all landscape areas within the right-of-way.

GENERAL REQUIREMENTS AND DEFINITIONS:

- a) Evergreen trees shall be 6' minimum height.
- b) Caliper width refers to deciduous species.
- c) Landscape easement may include a maximum of 10% organic and/or bark mulch as groundcover to satisfy landscaping requirements .
- d) At time of planting, all groundcover and shrub areas must have 100% coverage with organic, rock and/or bark mulch, to protect the soil.

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- e) Slope banks shall utilize native and/or adapted species to reduce maintenance and irrigation requirements. Adapted species refers to non-native or exotic plant species that are non-invasive and well adapted to the local climate and growing conditions.
- f) All trees should have a minimum 6' diameter mulched base.
- g) Large trees exceed 40 feet in height and 40 feet canopy diameter at maturity.
- h) Medium trees range from 20 feet to 40 feet in height and 10 feet to 40 feet in canopy diameter at maturity.
- i) Small trees range from 8 feet to 20 feet in height and 6 feet to 20 feet in canopy diameter at maturity.
- j) Riparian species refers to water-loving plants that are usually associated with drainage ways or riparian corridors.
- k) Formal groupings refer to the linear or patterned arrangement of plants at a regular spacing interval.
- l) Informal and clustered groupings refer to the random or irregular arrangement of plants in groups of 3 or more and spaced a maximum of 60 feet between clusters.

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Table 2-2: Streetscape Landscape Standards

Roadway	Landscape Buffer	Sidewalk
Collector (Kiley Pkwy., Henry Orr Pkwy., Windmill Farms Pkwy., Ranch House Rd.)	<p style="text-align: center;">10'10'</p> <p><i>Tree Type:</i></p> <ul style="list-style-type: none"> • Medium fall color species • Recommend accent landscape at entries. <p><i>Tree Size:</i></p> <ul style="list-style-type: none"> • 2" minimum caliper <p><i>Pattern/Spacing:</i></p> <ul style="list-style-type: none"> • Linear row 20' on center, singular species theme each block. <p><i>Other:</i></p> <ul style="list-style-type: none"> • 60% shrub/40% groundcover mix 	<p style="text-align: center;">5'/5'</p> <p style="text-align: center;">5' concrete sidewalk</p>

Additional Notes:

- Maintained grass swales permitted in landscape buffer on development side of sidewalk.

2.4.5 Street Lighting

The lighting for Kiley Ranch North Phase 6 will be designed to enhance the quality and safety of the streetscape corridors. Lighting design will contribute to the overall atmosphere by reinforcing the community structure through a cohesive, identifiably unique palette of materials. Lighting design will be reviewed and approved by the Kiley Ranch North Design Review Committee (DRC) and the City of Sparks. Lighting located within the right-of-way of arterials, collector roads, and local streets, and other public common areas will be installed by the Master Developer or Guest Builder and maintained by NV Energy or the City of Sparks (for standards poles/fixtures). This section provides lighting standards for collectors and local streets, as well as pedestrian, landscape and sign lighting within Kiley Ranch North Phase 6.

The goals of these lighting standards are to:

- (1) Provide a safe level of illumination for both motorists and pedestrians;
- (2) Reinforce the pedestrian scale of the community; and
- (3) Allow for quality lighting design that reflects the theme of the community

2.4.6 Collectors and Local Streets

GENERAL REQUIREMENTS:

- a) Lighting fixture types shall be of a consistent scale, design and color along street corridors
- b) Lighting fixture types shall differentiate use areas within Kiley Ranch North Phase 6.
- c) Street lighting shall be directionally shaded to reduce offsite fugitive light and glare.

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- d) Light fixture height shall not exceed the maximum heights indicated for the specific application.
- e) Refer to Table 2-3 for additional lighting standards.
- f) Street lights shall be maintained by NV Energy or the City of Sparks and operating costs will be paid by the City of Sparks (for standard poles/fixtures).
- g) The location and design of street lighting at roundabouts will be subject to the approval of the Kiley Ranch DRC and the City of Sparks.



Figure 2-9 – Typical Light Fixtures

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Table 2-3 – Streetscape Lighting Standards

Roadway Designation	Roadway	Standards					
		Location	Model (Luminaire, mast arm and pole)	Maximum Height	Finish Color	Placement	Spacing
Collector	Kiley Pkwy. Windmill Farms Pkwy. Ranch House Rd. Henry Orr Pkwy.	Both sides of roadway	Selected from NV Energy palette and to be approved by KRNDRC ¹	Fourteen (14) foot pole	Luminaire and mast arm: Black; Pole: concrete	Alternating ²	Spaced at regular intervals
Neighborhood Local	All public streets within a parcel or subdivision	Both sides of roadway	Selected from NV Energy palette and to be approved by KRNDRC ¹	Fourteen (14) foot pole	Luminaire and mast arm: Black; Pole: concrete	Alternating ²	Spacing varies

1 - KRNDRC - Kiley Ranch North Design Review Committee
 2 - Placement and Spacing of street lighting is subject to approval by NV Energy and the Director of Public Works, as specified in Section 17.16.110 of the City of Sparks Municipal Code

2.4.7 Entries

The consistent treatment of community gateways and neighborhood entries will help establish a consistent community character, while allowing a variety of entry treatments and identities for individual neighborhoods. The design of entries will be reviewed and approved by the DRC and the City of Sparks.

2.4.8 Neighborhood Entries

- a) A neighborhood entry treatment shall be placed at the primary entrance to each neighborhood. There shall be at least one neighborhood entry treatment for each neighborhood. The entry treatments shall be placed on both sides of the entry road.
- b) Entry treatments shall be located outside the sight visibility triangle of the road intersection.
- c) Neighborhood entry treatments shall be designed with similar characteristics to that of community gateways, but on a smaller scale. Entry monuments may incorporate the early turn-of-the-century historical development of the Reno-Sparks area. This can be accomplished through the use of materials, tone and texture that represent this era.

Figure 2-12 (below) depicts typical trail access points/corridors

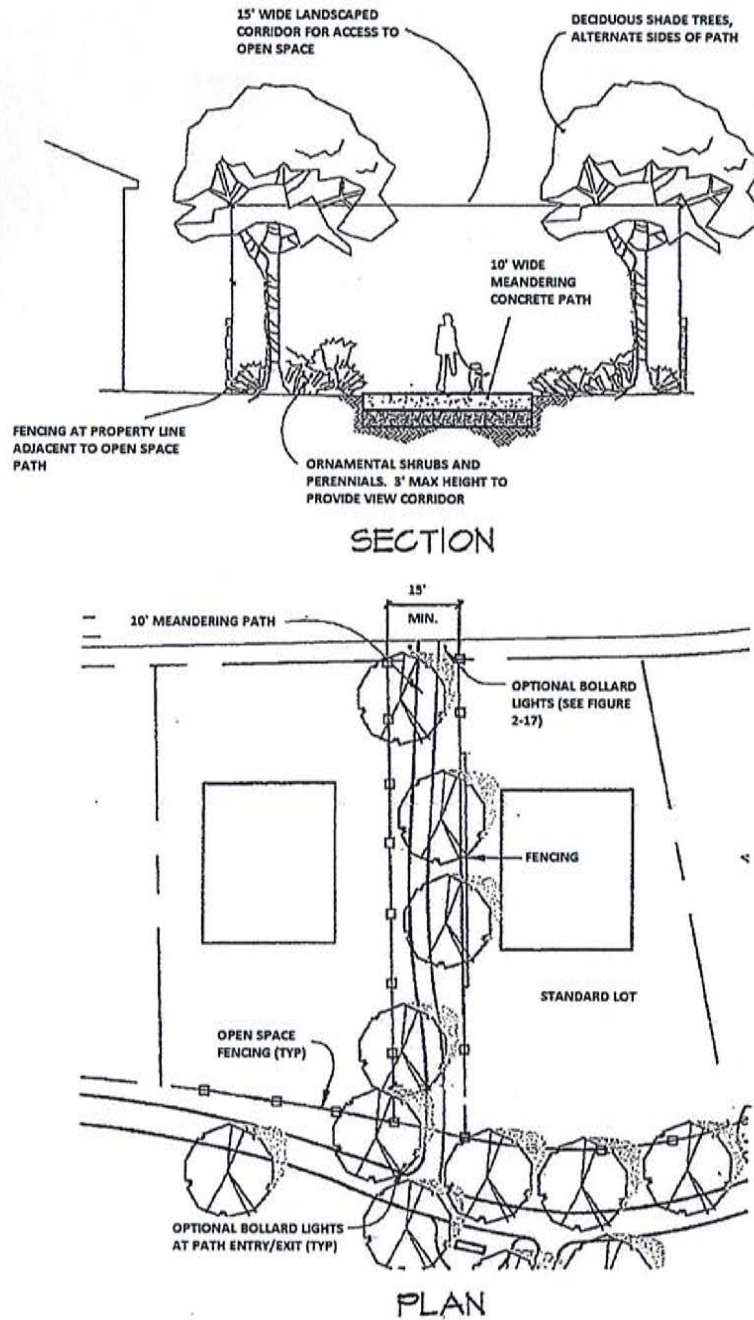


Figure 2-12 – Trail Access Point Concept

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Sidewalks and trails shall be constructed with the construction of the roadway or adjacent development by the party responsible for the installation of the adjacent improvements (Refer to Section 2.4.4). The City of Sparks shall be responsible for the maintenance of all sidewalks and trails within the rights-of-way, landscape buffers, public parks, and regional trails in Kiley Ranch North Phase 6. Refer to Figure 2-11, Sidewalk/Trail System. A public access easement shall be granted to the City of Sparks for all sidewalks and trails located outside the right-of-way.

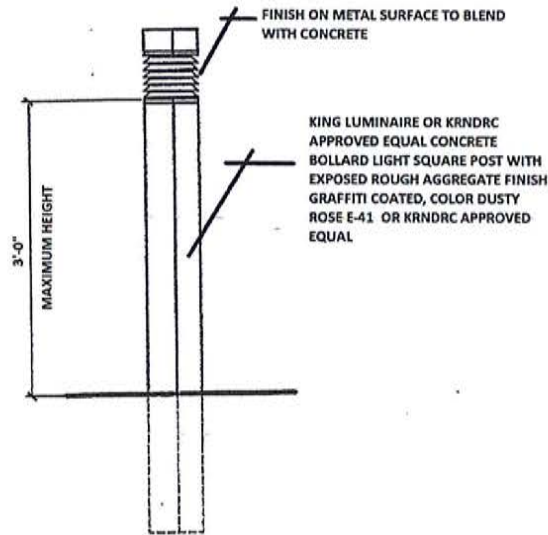
GENERAL GUIDELINES

- a) All pedestrian travel surfaces must conform to American Disability Act (ADA) standards.
- b) Trails and sidewalks located within the landscape buffers shall provide connections to the adjacent development.

2.6 Trails

The following trail standards shall apply to residential developments within Phase 6:

- a) A minimum of one trail/path providing connection to regional trail facilities at the eastern edge of Phase 6 shall be provided within each Guest Builder project within Phase 6.
- b) Trails/paths shall be a minimum of 10 feet in width and include a concrete surface.
- c) Trail corridors shall be a minimum of 15 in width and shall include trees and shrubs. Trees shall be planted at a rate of one tree per 40 feet of lineal trail/path. Shrubs shall be planted at a rate of 4 per tree. Tree and shrub sizes shall conform to the landscape standards contained within this Handbook. Trail access points shall be maintained by the Guest Builder or LMA.
- d) Multi-family projects located on the west side of Kiley Ranch Parkway shall be required to provide sidewalk connections in order to encourage pedestrian activity to the east, towards the regional trail system.
- e) Refer to Figure 2-11 for conceptual trail locations which are subject to change.
- f) Trail access points shall be protected with bollards to prevent vehicular traffic/access. Refer to Figure 2-13 for typical bollard detail.
- g) Locations of trail access points shall be subject to the approval of the DRC and the City of Sparks.
- h) Concrete trails in the regional trail system of Phase 6 shall be maintained by the City of Sparks.



CONCEPTUAL BOLLARD

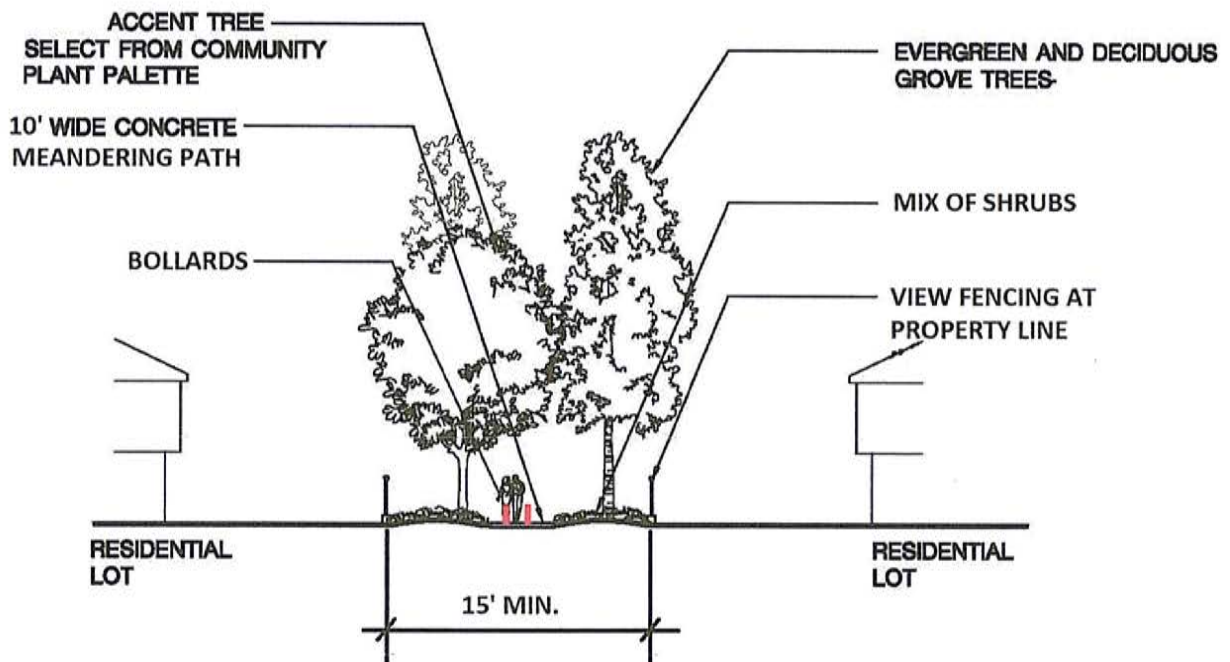


Figure 2-13 – Typical Bollards at Trail Access Points

2.7 Public Transportation

2.7.1 Bus Stops

Public transit as an alternate mode of transportation shall be planned for throughout the development. The Master Developer or Guest Builder shall provide for bus stops in accordance with Regional Transportation Commission's (RTC) Master Plan for the area. Bus stops will be constructed utilizing RTC standards and be constructed with the adjacent project. Bus shelters shall be designed in relation to the architecture of the adjacent project. Bus stop construction shall be coordinated with RTC and approved by the administrator.

2.8 Mailboxes

Individual mailboxes, if allowed by the United States Postal Service (USPS), shall be paired at driveways to serve adjacent homes. The style of the mailboxes, including address numbers shall be compatible with the architectural styles of the homes and shall be consistent throughout each project. Mailbox designs shall be approved by the Kiley Ranch North Design Review Committee and the USPS. Mailboxes shall be provided and installed by the Guest Builder prior to the issuance of certificates of occupancy for the individual homes or units.

If individual mailboxes are not permitted, clustered boxes shall be located in convenient areas conducive to temporary parking. Placement of cluster boxes shall not be near intersections and shall not conflict with individual driveways or utilities. Locations shall be approved by the USPS and KRNDRC.

Guest Builder shall identify the entity responsible for the ongoing maintenance of the area surrounding and including cluster boxes.

CHAPTER 3 – DESIGN STANDARDS AND GUIDELINES

3.1 Purpose and Compliance

The purpose of this chapter is to establish a base qualitative standard through the use of design parameters within which Guest Builders building in Kiley Ranch North Phase 6 must remain and that will ensure that projects will contribute to the character and vision outlined for the community. The standards and guidelines in this chapter will shape the development of the various land use areas by providing specific design criteria for building orientation, landscaping, lighting, signs, walls and fences, and other design elements integral to creating development projects that fit into the theme of the community. These standards and guidelines also address the community's underlying structure such as community entries, community walls, and trails. Architectural standards and guidelines are also provided to ensure buildings within Kiley Ranch North Phase 6 are attractive, and relate to one another and the community character. The pictures contained in this Chapter are provided to convey the general design intent of the standards and guidelines and are not intended to require the specific design style depicted.

During the development review process, the Kiley Ranch North Design Review Committee (DRC) and the City of Sparks will review all development applications and ensure the proposed project meets the intent of these design standards and guidelines.

3.2 Site Planning Standards and Guidelines

The purpose of the site planning standards and guidelines is to address general provisions of site development which include building orientation, grading and drainage, parking areas, landscape, lighting, signs, walls and fences, and service areas. Site planning controls the proper placement of buildings and internal roads that service and access the various land uses in the community. It addresses the linkages and land use relationships at a human-scale, in order to create a stimulating and visually pleasant community. The goal is to promote pedestrian activity and safety, create visual compatibility with surrounding neighborhoods and minimize negative impacts on the natural environment.

3.2.1 Single Family Residential Areas Site Planning

Site planning, architectural design and landscape design shall be integrated into a unified neighborhood concept. This can be accomplished through a variety of devices including: unique entry features; theme wall and fencing; special landscape treatments, planters, and other elements; consistent use of building clusters; and trail linkages (Refer to Figure 3-1, Residential Neighborhood Design).

This category may include single-family condominium projects (developed under the tentative map process) built for rental.

Figure A: Variation of Front Yard Setbacks

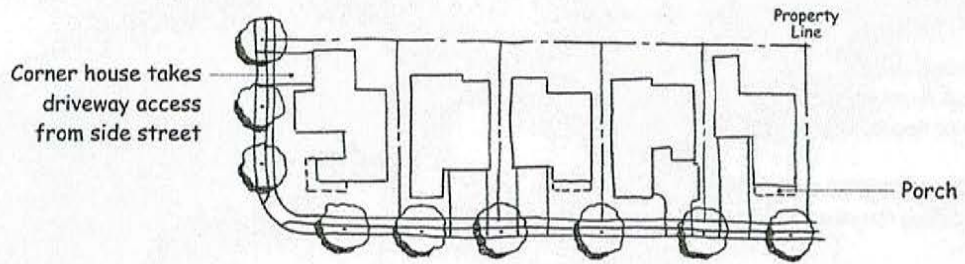


Figure B: Connection to Trail System from Cul-de-sac

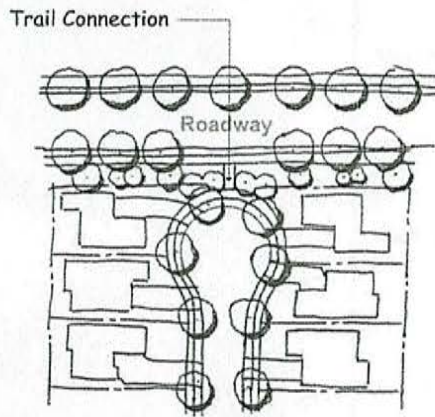


Figure C: Open Cul-de-sac

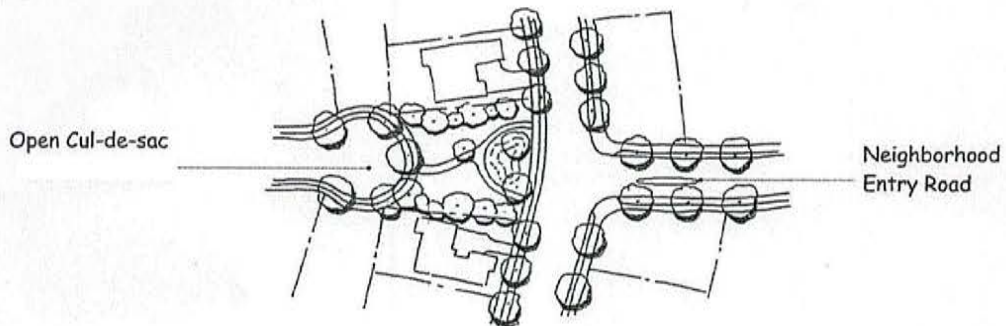


Figure 3-1 – Residential Neighborhood Design

3.2.1.1 Single Family Neighborhood Design

The residential neighborhoods of Kiley Ranch North Phase 6 will promote visual diversity and avoid monotonous development patterns. This can be achieved through the use of several techniques including: minimizing the visual impact of the garage; avoiding repetitious floor plans and footprints; varying setbacks at porches, garages and living areas; and opening corner lots through selective plan form. The following standards and guidelines promote visual diversity along the streetscape and promote the use of street-oriented architecture.

- a) Forward architecture shall be used in the design of homes. This is accomplished by placing entries, windows, front porches, and living areas towards the street on most plan variations (see example in Figure 3-2 below).



3.2.1.1 a) Homes are sited close to the street with entryways and porches, rather than garages creating an attractive and social environment.

Figure 3-2 – Typical “Forward” Architecture

- b) With the exception of zero lot line lots, plans should be reversed and plotted so that garages and entries are adjacent to each other. This creates an undulating sense of setback. Occasionally this pattern should be broken so that it will not become overly repetitious or recreated by the massing across the street.
- c) The garage shall not be the dominant feature of the building facade facing the street.
- d) So as not to contribute to a repetitious and monotonous appearance along the street, the use of varying building setbacks from the street right-of-way is encouraged. Refer to Figure 3-1 - Figure A.

- e) At least one house plan per neighborhood should be developed for corner plotting. Corner plotting requires wrap-around architecture and the ability to turn the garage for side entry. Refer to Figure 3-1.
- f) Neighborhoods shall provide connections into the community trail system. Open cul-de-sacs or trail access points may be required where a connection to the community trail system can be made. Refer to Figure 3-1.
- g) In order to avoid a continuous "walled" character along collector roads, special treatments shall be used in selected locations. These may entail open cul-de-sacs, view fencing, trail connections, and variable wall alignments.

3.2.1.2 Single Family Grading

- a) The design of residential neighborhoods shall be sensitive to the natural terrain, and structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- c) All graded slopes shall be revegetated prior to building occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy, a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for revegetation, subject to the approval of the City of Sparks. Drought tolerant plant species shall be utilized to help minimize erosion.
- d) Slope banks used in conjunction of the terracing of residential lots shall be maintained by the property on the down slope side.
- e) The Master Developer or Guest Builder shall post a surety for reclamation and revegetation prior to issuance of a grading permit.
- f) The Master Developer or Guest Builder shall submit an erosion/dust control plan with each grading plan.

3.2.1.3 Single Family Landscape

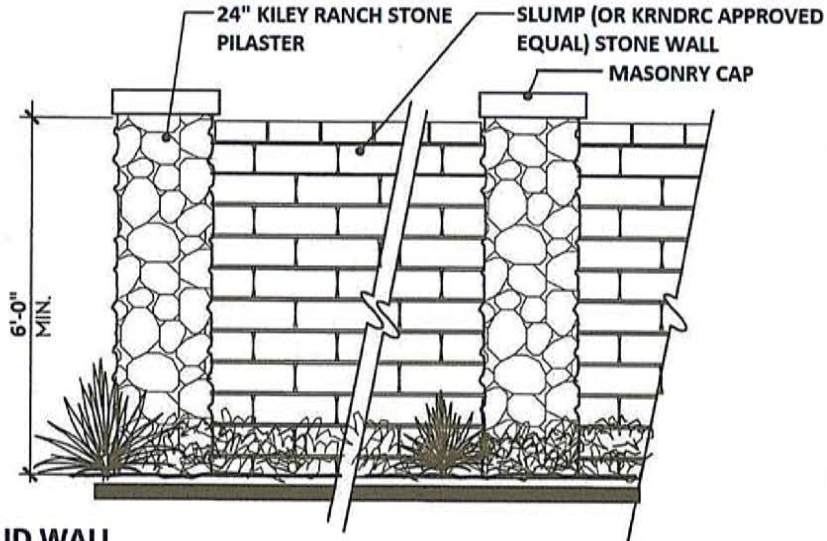
- a) Within residential neighborhoods, sidewalks shall be separated from the curb edge by a planted utility easement (minimum 5' width) consisting of low, spreading groundcover and shrubs. Landscape within this area shall be installed by the Guest Builder before the occupancy of the adjacent home, unless climatic conditions prevent planting, in which case a bond shall be provided for landscaping during the subsequent growing season. Landscape within utility easement areas to be maintained by the adjacent homeowner or the LMA.
- b) Street trees shall be planted within the parkway at a regular interval of no greater than 50 feet apart, with a minimum of one street tree per residential lot street frontage.
- c) Each neighborhood shall use a mix of species of large canopy shade trees for all primary circulation routes within the neighborhood. Refer to Landscape Palette (included in Kiley Ranch North Tentative Handbook) for permitted tree species.
- d) The landscape character should vary from neighborhood to neighborhood. Each neighborhood may use an ornamental/flowering tree species unique to that neighborhood as approved by the DRC and City of Sparks.
- e) Front yard landscaping is required for all homes and will be reviewed and approved with the tentative map establishing installation timing.
- f) Front yard landscape packages shall be provided by the Guest Builders subject to the review and approval of the DRC and the City of Sparks and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided (minimum of 3 packages); front yard landscaping designs with berming, courtyards, or other creative features shall be offered for landscape designs; and at least one (1) package shall have a minimal use of turf/lawn (minimal is defined as no more than 25 percent of the planted area in the front yard). The utility easement strip referenced in Section 3.2.1.3(a) shall be installed as part of the adjacent lot landscaping.

3.2.1.4 Single Family Lighting

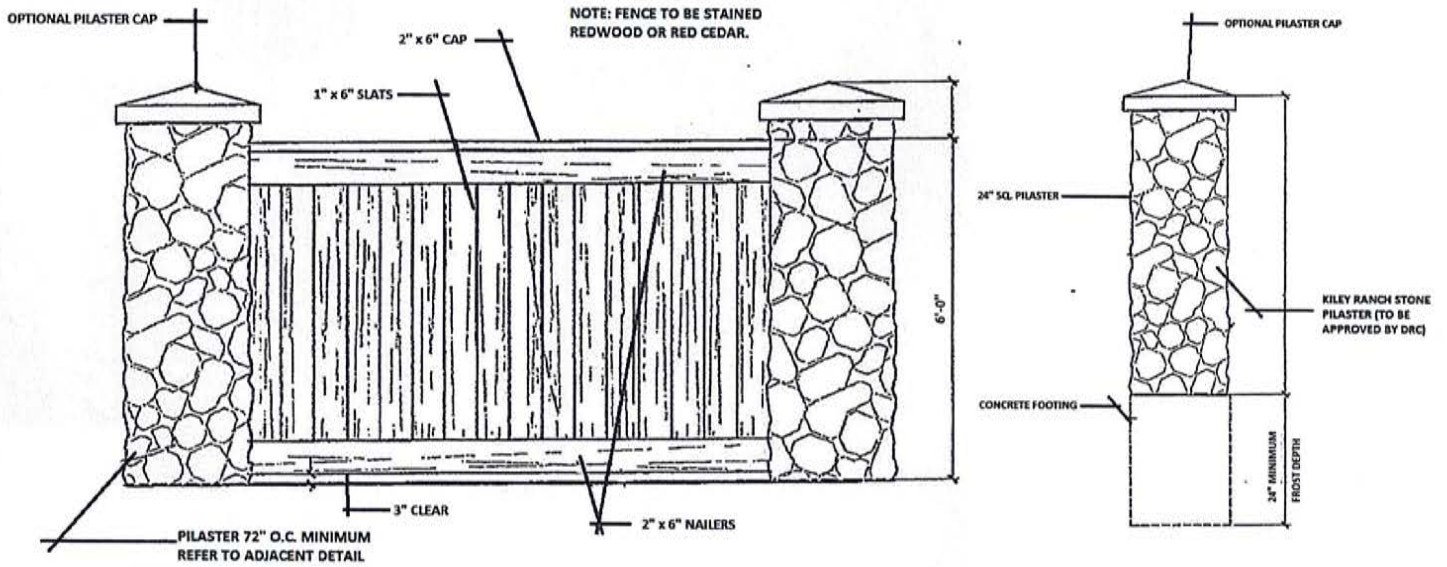
- a) Exterior lighting shall be shielded from projection offsite and designed to be compatible with the architectural and landscape design of the home.

3.2.1.5 Single Family Walls and Fences

- a) A master fencing plan for each project within Kiley Ranch North Phase 6 shall be prepared by the Guest Builder and submitted to the DRC and the City of Sparks for approval with the development application for the project in which the walls/fences are to be constructed. The master fencing plan shall identify locations for walls and collector fencing, and residential fences as well as set their design character.
- b) Walls shall be used where necessary to provide privacy and security for multi-family projects. The use of walls shall be limited to multi-family projects.
- c) Walls and fences within the community shall not become the dominant visual element and walls where needed shall blend into the overall landscape. Berming or berms with lower walls shall be considered as an alternative to typical community walls.
- d) View fencing shall be used on the open space perimeter of residential areas. Refer to Figure 3-4.
- e) Walls shall be a maximum of six feet in height. Appropriate materials include stone, stone veneer, split face/ precision block, tubular steel, concrete, stucco pilasters and cap, and wrought iron. The design style, color and detail shall be consistent throughout the Kiley Ranch North Phase 6.
- f) Walls shall blend into the overall landscape. Through site planning, product plotting, architectural detailing and landscaping this can be achieved.
- g) View fences may be used where the rear of individual lots are adjacent to open space. Refer to Figure 3-4, for examples of view fences.
- h) View fences shall be constructed of wrought iron or similar quality material and be consistent in terms of material, color and detail within each residential neighborhood or subdivision.
- i) Walls and view fences shall comply with the regulations contained in Section 2.2.5.
- j) All walls and fences associated with a project shall be installed concurrently with the project. Fences within residential lots shall be maintained by the lot owner.
- k) Fences along collector roadways shall be placed in the landscape buffer areas and shall be maintained by the LMA.

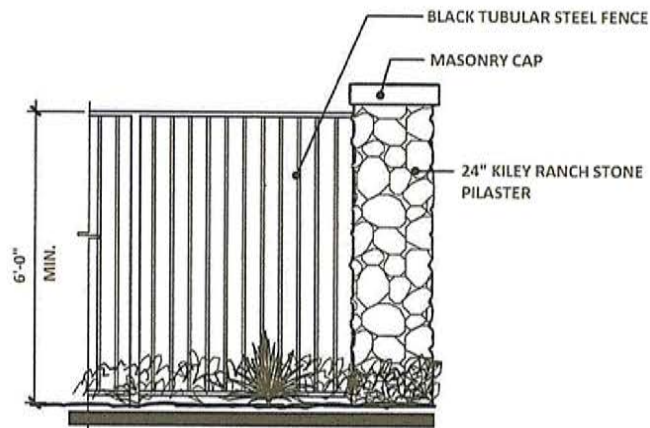


COMMUNITY SOLID WALL

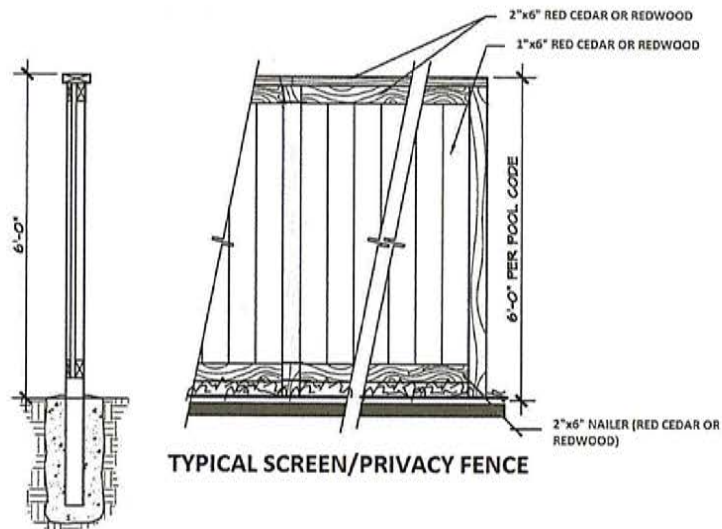


TYPICAL COLLECTOR FENCE

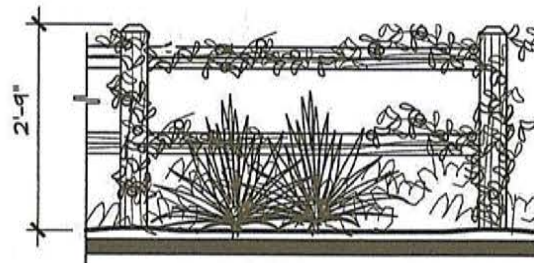
Figure 3-3 – Community Walls and Collector Fencing



TYPICAL OPEN FENCING



TYPICAL SCREEN/PRIVACY FENCE



TYPICAL SPLIT-RAIL OPEN FENCE

Figure 3-4 – Typical View and Screen Fencing

3.2.1.6 Single Family Neighborhood Entry

- a) A neighborhood entry treatment shall occur at the primary entry to each neighborhood project. Treatments may incorporate a local historical theme similar to that of Community Gateways but on a smaller scale.
- b) Entries shall incorporate the following (see examples in Figure 3-5, below):
 - Ornamental trees
 - Groundcover or turf
 - Native materials designed to look natural and wild
 - Community name signage
 - Distinctive historical architectural elements (where achievable)
- c) Raised planted medians may be used at neighborhood entries (see Figure 3-5, below).
- d) Refer to Section 2.4.8, Neighborhood Entries, for additional standards.



3.2.1.6 b) Raised planted medians calm traffic and provide a neighborhood entry feature.



3.2.1.6 d) Landscaping at the entry point to individual neighborhoods sets the theme and image for the neighborhood.

Figure 3-5 – Typical Neighborhood Entry Treatment

3.2.2 Multi-Family For-Rent/Attached Residential Site Planning

Site planning, architectural design, and landscape shall be integrated into a unified design of new multi-family housing or attached single family housing. These site planning standards and guidelines address the following issues: placement and orientation of attached homes or multi-family buildings; site grading and drainage; landscaping and public spaces; placement of parking/carports/garages; walls and fences; trash and storage areas; and lighting. These standards may also apply to condominium projects built for rental.

3.2.2.1 Multi-Family Building Orientation

- a) Building placement and orientation shall be designed to create visual interest along public right-of-ways and within the project. Buildings and landscape elements in a single project shall demonstrate a positive functional relationship to one another.
- b) Residential buildings should be grouped in clusters and sited to minimize the scale of the project. Larger building masses should provide larger open space areas. Small blocks of parking with walks, entries, and mailboxes within each cluster of buildings shall be utilized to provide a sense of identity and convenience.
- c) Buildings shall be oriented and clustered in such a way as to provide courtyards and open space areas (see Figure 3-6, following page) The open space shall be usable area and not steep in slope.
- d) To provide privacy between living spaces, there should be distance separations, buffering or changes in the angles of units.
- e) All multi-family/attached single family developments shall incorporate pedestrian connections to adjoining residential, recreational and commercial uses as well as to the community trail system (see Figure 3-6, following page).
- f) Projects along transit routes shall be designed to have a pedestrian entrance oriented towards transit stops for convenient access by transit riders (see Figure 3-6, following page).
- g) There shall be common barbecue areas with tables provided within the multi-family/attached single family development, which can count towards recreational facilities.



3.2.2.1 c) Multi-family projects with landscape areas surrounded by residential units in a courtyard setting provide safety and community interaction.



3.2.2.1 e) Pedestrian connections allow residents to walk to recreation areas.



3.2.2.1 f) Multi-family development is enhanced with the inclusion of pedestrian paths and transit connections.



3.2.2.1 h) Shared open-space amenities such as barbecue areas, lawn areas and childrens play areas add to the convenience and quality of life in multi-family neighborhoods.

Figure 3-6 – Typical Multi-Family Site Planning

- h) Multi-family/attached single family development over 25 units shall have a secure children's play area with play equipment that is visible from as many units as possible. In addition they shall incorporate five (5) of the following recreational facilities:
- Swimming pool
 - Tennis courts
 - Horseshoes
 - Spa
 - Exercise equipment
 - Game room
 - Community room
 - Par course
 - Walking trails (minimum mile in length)
 - Picnic areas to include tables with barbecues
 - Volleyball court
 - Basketball court
 - Lawn areas for field games
- i) The recreational facilities shall be conveniently and centrally located for the majority of the units (see examples in Figure 3-6, previous page).
- j) Private open space, such as decks or patios shall be contiguous to the units with a minimum width of six (6) feet.

3.2.2.2 Multi-Family Grading and Drainage

- a) The design of multi-family housing or attached single family housing shall be sensitive to the natural terrain, and structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Site grading shall be designed to complement the architectural and landscape design character of the community, screening parking and service areas, reducing the perception of height and mass on larger buildings, and providing reasonable transitions between on-site uses.
- c) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- d) All graded slopes shall be revegetated prior to building occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy, a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for revegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.

- e) The Guest Builder shall provide a final hydrological report for the project in conformance with the City's Hydrological Criteria and Drainage Design Manual (HCDDM) for review and approval by the Engineering Manager.
- f) The Guest Builder shall post a surety for reclamation and revegetation prior to issuance of a grading permit.
- g) The Guest Builder shall submit an erosion and dust control plan with each grading plan.

3.2.2.3 Multi-Family Parking

The goal of the following standards and guidelines are to limit the impact of parking areas on the streetscape and provide a network of pedestrian paths within landscaped corridors that tie into the community trail system.

- a) Parking should be provided within 200 feet of all residential units.
- b) Parking areas shall be linked to the building and sidewalk network as an extension of the pedestrian system. Pedestrian systems shall be designed within the project to connect buildings and open space/recreational facilities (see Figure 3-7). This can be done using design features such as walkways with enhanced paving, trellis structures and/or landscaping treatments.



3.2.2.3 b) Parking areas in multi-family zones have screening landscaping and clearly marked paths to residences and recreational amenities.

Figure 3-7 – Typical Parking Treatment

- c) Carports and garages shall be designed as an integral part of the architecture of the development. They shall be the same in materials, color and detail to the principal buildings of the development. Carports should not have roof pitch of less than 3:12. No pole parking structures will be permitted.
- d) Parking in the perimeter of the property adjacent to the public right-of-way shall be screened according to the standards in Section 3.2.2.4.

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- e) Wheel stops shall be provided where parking adjoins landscaping and sidewalks unless an alternative design is approved by the DRC and the City of Sparks.

3.2.2.4 Multi-Family Landscape

Multi-family and attached single family residential landscaping provides a unique sense of identity for each project. The following standards and guidelines help to establish the landscape character for each project that will enhance the quality of the development and buffer the project from roadways and undesirable views.

- a) All landscaping shall comply with the minimum requirements contained in Chapter 20.32 of the Sparks Municipal Code.
- b) Landscaping around the entire foundation base of buildings shall be provided to enhance the area between the parking lot; walkways and the structure (see Figure 3-8).
- c) Stepping stones shall be provided through a landscape planter to provide access from parking lots to walkways.
- d) Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
- e) All landscaped areas shall be irrigated with permanent automatic irrigation systems. All irrigation systems shall be placed underground.
- f) Planting islands in parking lots shall have a minimum nine (9) square foot interior protected by a six (6) inch curb.
- g) The landscape along the street periphery shall be a minimum width of 15 feet from the right of way and provide a mix of trees, shrubs, and living groundcover. This 15 foot required width is not in addition to the landscape buffer width required adjacent to arterial and collector roads. The trees shall be a minimum of four (4) trees per 100 lineal feet and six (6) shrubs per tree. All parking lots and buildings shall incorporate landscaping at their street periphery.
- h) All sites shall incorporate screening (including walls/fences) at their periphery. Screening shall be implemented utilizing the following:
 - Utilize evergreen shrubs and ornamental grasses that are 30 to 36 inches high at maturity to create a loose, informal landscape screen.
 - Provide evergreen trees at four (4) trees per 100 lineal feet of landscape area. Evergreen trees shall be installed at a mix of 50% six (6) foot in height and 50% eight (8) foot in height.

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- A minimum 10 foot landscape buffer/planter shall be provided between the street and periphery walls/fences.
- i) Landscaping shall be installed to provide shade and enhancement of open space and recreational areas. The placement of plants shall consider security and safety by avoiding the creation of secluded areas.
- j) Project area, open space, common areas and recreational areas shall be landscaped, as approved by the City of Sparks and the DRC.



3.2.2.4 b) Well-landscaped, semi-private pathways provide safe access to the street and neighborhood amenities.

Figure 3-8 – Typical Multi-Family Landscape Treatments

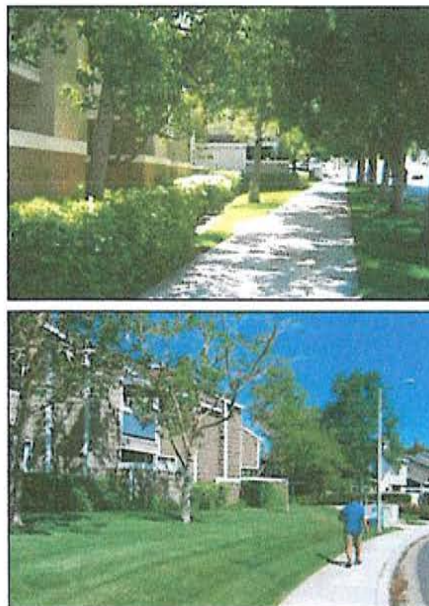
3.2.2.5 Multi-Family Lighting

- a) Lighting throughout Kiley Ranch North Phase 6 shall be designed to differentiate between land use areas, emphasize community amenities, provide continuity along street corridors and ensure the safety of residents and users.
- b) Parking lot, walkway and area lighting heights shall be in scale with the setting and complement the architecture. Any light source over ten (10) feet high shall incorporate a cut-off shield to prevent the light source from being directly visible from off-site areas to prevent glare.
- c) Parking lot, walkway and area lighting shall be directed downward with no direct projection of light off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination. The use of bollard lighting shall be encouraged in pedestrian areas.

- d) Overall lighting levels shall be compatible with neighborhood ambient levels and color shall be uniform throughout the development. Soft, indirect lighting shall be employed where feasible.
- e) Illumination for aesthetic purposes of any building or surrounding landscape utilizing exterior light fixtures that project light beyond the property line is prohibited.
- f) Support structures for lighting should be designed as part of the general theme of the building architecture and be consistent throughout the project.
- g) Minimal energy consumption shall be a factor in lighting selection.

3.2.2.6 Multi-Family Walls and Fences

- a) Multi-family and attached single family residential projects may minimize the use of solid walls adjacent to the right-of-way to the extent possible. Where walls are necessary, view fences or buildings sited in such a way that they serve the function of walls should be employed (see Figure 3-9).
- b) View fences shall include landscape with trees and shrubs to screen views of private yards from adjacent properties and public right-of- ways (Refer to previous Figure 3-4).
- c) All walls and fences shall be incorporated into the design of the surrounding buildings. Design of all walls and fences shall be consistent in terms of material, color and detail within each multi- family and attached single family residential project.



3.2.2.6a) Low solid walls provide privacy and buffer private outdoor space

Figure 3-9 – Typical Multi-Family Wall Concepts

3.2.2.7 Multi-Family Service and Utility Areas

- a) Storage areas, utility meters, HVAC, trash enclosures, and other service functions shall be screened, recessed or enclosed (see Figure 3-10, below).
- b) Trash and storage areas shall be designed as an integral part of the structure(s) and shall not be oriented to any public right-of-way or pedestrian walkway without adequate screening. It is the intent to locate these facilities in the most inconspicuous manner as possible.
- c) Trash enclosures shall be finished using durable materials that complement the development's architecture and shall be screened with landscape on three sides.
- d) Switch boxes, transformers, electrical and gas meters, including ground mounted air conditioning units and other above ground or building mounted utility elements (including antennas or satellite dishes), should be screened with elements compatible with the building architecture or located out of view from public roads, driveways and common public areas, such as exterior entrances, pathways and parks (see Figure 3-10, below).
- e) All trash and garbage bins shall be stored in an enclosure, approved by disposal services, the DRC and the City of Sparks.
- f) Trash enclosures shall be constructed to be architecturally compatible with the project. All trash enclosures shall be treated with anti-graffiti material. The trash enclosures shall be constructed of substantial building materials used in the design of the building(s). Gates shall be constructed of durable building materials that screens at a minimum 80% of the view into the trash enclosure. Wood or chain link gates are not allowed.



3.2.2.7a) Trash enclosures with landscape screens and architecture that is similar to that of the project help to minimize the negative visual impact of these structures.



3.2.2.7 c) The screening of utilities can be integrated into the adjacent building through the use of similar materials and architectural elements.

Figure 3-10 – Typical Multi-Family Service Areas

3.2.2.8 Multi-Family Project Entry

- a) Primary multi-family project entry drives may have treatments that incorporate a local historical theme similar to that of Community Gateways but on a smaller scale (Refer to Section 2.4.8 for theming examples).
- b) Project entries shall provide an individual identity to the project such as special paving, graphic sign, specialty lighting, specimen trees, or flowering plants (see Figure 3-11, below). Also refer to previous entry standards included in Chapter 2.
- c) Project entry drives for multi-family/attached single family projects with more than 50 units should include at least two (2) of the following:
 - A minimum five (5) foot wide landscaped median.
 - Textured paving, interlocking pavers or rough textured concrete.
 - Gateway elements such as lights, bollards, monuments, or entry walls.
 - A roundabout containing landscaping and a water fountain/ feature or public art.
 - Community name signage
- d) Multi-family project entry drives shall have sidewalks on both sides connecting the street to the interior pathways of the project.



32.28 b) Entry drives into multi-family developments that include landscaped medians or other special features set the theme for the project.

Figure 3-11 – Typical Multi-Family Entry

3.3 Architecture Standards and Guidelines

3.3.1 Background

The purpose of these architectural guidelines is to provide general design criteria and guidance for the development of the neighborhoods of Kiley Ranch North Phase 6. The guidelines are not intended to be restrictive, but rather promote both visual compatibility and variety in a community setting achieved by utilizing complementary, traditional and contemporary architectural styles. The intended result is a high level of design direction and quality.

3.3.2 Architectural Theme

In an effort to promote architectural richness through a diversity of styles, a traditional American small town architectural vernacular has been chosen to characterize the residential neighborhoods within Kiley Ranch North Phase 6. Architecturally, this vernacular encourages such styles as the Craftsman Bungalow, and Farmhouse styles, featuring decorative woodwork, handmade craftsmanship and attention to detail. Refer to Sections 3.3.2.2 through 3.3.2.3 for essential elements of these architectural styles.

The goal is to create an attractive community that when built over time will remain true to its intended character and identity. This will be accomplished by utilizing architectural styles that have a rich heritage and have been traditionally used in the City of Sparks area. The character will be applied throughout the community in the design of community and village/neighborhood entry monumentation, community walls, and signs. The application of these architectural guidelines and standards to individual development projects will be reviewed and approved by the Kiley Ranch Design Review Committee (DRC) and the City of Sparks. New interpretations of these classic combinations of materials are encouraged as they relate to a general feeling of neighborhood unity. The following sections provide guidelines and standards that will aid in the creation of a successful and enduring community.

3.3.2.1 Background

The architectural styles that have been chosen to form the foundation of Kiley Ranch North Phase 6 are from the Craftsman and Farmhouse heritage. Their inherent attractiveness, informality, and sense of elegance have enabled these styles to remain popular over a long period of time. The goal is to apply the basic architectural elements of these styles without being overly restrictive. Authentic application of historical forms will establish an architectural tradition for both individual residences and neighborhoods without trying to create exact replicas of the past.

Structures located within residential neighborhoods will be required to exhibit elements of the Craftsman or Farmhouse styles.

3.3.2.2 Craftsman

The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. The style stressed the importance of insuring that all exterior and interior elements receive both tasteful and "artful" attention. The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The style is further characterized by broad open porches, multiple gable roofs with deep overhangs, and a rustic texture of building materials. The following further describes the essential design elements of this style.

Basic Elements

- Gable roofs with deep overhangs.
- Expressive structural elements such as rafters, brackets and columns.
- Broad windows and doors.
- A mixture of materials such as stone, shingles and siding.
- Porches with distinctive pier column combinations.

Building Mass and Roofs

- Gabled roofs with a pitch range from 4 in 12 to 6 in 12 for the main roof.
- Wings which project from the main mass and receive independent roof forms.
- Roof materials to be concrete or clay tile.
- Architectural grade composition shingles will be considered on a case by case basis by the DRC.

Building Articulation

- Large, detailed eave projections with exposed rafter tails.
- Gable roof projections may be supported by braces or extended beams.
- Broad porches encompassing the full width of the house.
- The gable roof on porches parallel to the roof of the main structure.
- The detailing of porches showing variety such as short square columns that rest on massive piers, battered columns, or solid balustrades.
- Railings have square balusters or turned spindles.

Doors and Windows

- Windows and doors broad in proportion.
- Doors paneled or contain a combination of paneled and glazed elements, and entries usually occur singularly.
- Doors have sidelights and transoms.
- The door trim surround consistent with the window trim.
- Windows and doors that have trim caps, brackets or other details over the window head are encouraged.
- Box and angled bay windows used as accents.
- Double hung windows with multiple panes over one division.
- Casement windows used as specialty windows.
- Windows either flat, half-round or segmental arched tops.

Materials and Colors

- Walls clad with stone, brick, stucco, wood or composite siding, or plain shingles.



3.3.2.3) Craftsman architecture, with its wood detailing, gable roofs and porches, captures the informal naturalistic atmosphere of Kiley Ranch North.



Figure 3-12 – Typical Craftsman Architectural Style

3.3.2.3 Farmhouse

Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial and Cape Cod styles begun in New England. As the American frontier moved westward, the Farmhouse style evolved according to availability of materials and technological advancements, such as balloon framing. Predominant features of the style are large, wrapping front porches with a variety of wood columns and railings. Roof ornamentation consists of cupolas, weathervanes and dove cotes. The following further describes the essential elements for design.

Basic Elements

- Variable pitched roofs with moderate overhangs.
- Expressive structural elements such as rafters, brackets and columns.
- Variable window types.
- A mixture of materials such as stone, stucco and wood siding.
- Porches incorporating heavy timber columns with knee braces.

Building Mass and Roofs

- Roofs gabled with a pitch range from 3 in 12 to 9 in 12 for the main roof.
- Roofs simple gable, hipped or gambrel forms often with dormers.
- Roof materials to be concrete tile or clay tile or non reflective architectural metal.
- Architectural grade composition asphalt shingles will be considered on a case by case basis by the DRC.

Building Articulation

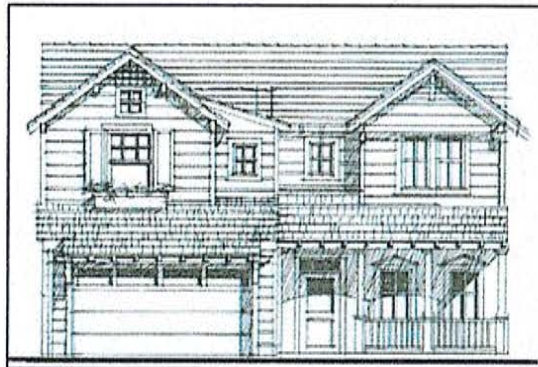
- Simple eave projections with trimmed rafter tails and fascia.
- Broad porches, encompassing the full width of the house.
- Piers and balustrades of the same material as the main mass of the house.
- Porch balustrades are connected to column supports.

Doors and Windows

- Windows and doors broad in proportion.
- Doors paneled or a combination of paneled and glazed, and entries usually occur singularly.
- Doors have sidelights and transoms.
- Windows and doors have trim details over the window head and doors.
- Box and angled bay windows used as accents.
- Picture windows.
- Windows double hung with multiple panes over one divisions.

Materials and Colors

- Walls clad with stucco or wood/composite siding.
- Stone and brick used as accents.



3.3.2.4) Farmhouse and ranch vernacular architecture, with their wood siding, hipped, gable and barn roofs, and wrap-around porches, is another ideal architectural theme



Figure 3-13 – Typical Farmhouse Architectural Style

3.3.3 Single Family Residential Architectural Standards

3.3.3.1 Single Family Architectural Standards Purpose

One important goal of these guidelines and standards is to create a streetscape possessing both functional and visual variety. The architectural guidelines are intended to provide variety in appearance as well as a sense of individuality for each structure. Projects where nearly identical buildings line the streets without variation in placement and architecture form are discouraged. The application of detail and character to the architecture should be as authentic as possible to avoid the artificiality of "stage front" architecture.

The guidelines provide general goals with regard to architectural elements with the intent of explaining their context to the overall design character of the community

3.3.3.2 Single Family Building Mass and Form

- a) Facades of buildings shall use one of the architectural styles contained in Section 3.3.2 and incorporate elements of the chosen style.

- b) A minimum of three (3) distinctive floor plans shall be used within each subdivision. A subdivision with twenty (20) or less lots may have less than three (3) distinctive floor plans.
- c) The architectural detailing similar to that of the front elevations may be utilized on all sides of the home.
- d) Any building addition or additional building(s) (over 120 square feet) on a property shall match the main structure in building design, materials, roof pitch and architectural character.
- e) The exterior mass and form of residential architecture should be varied within neighborhoods to improve the streetscape. This can be accomplished through varied setbacks, floorplans, facade detailing and rooflines.
- f) The stepping back or change in materials and color of a second story can be used to add variety to homes and the street (see Figure 3-14). The second story can be set back in relation to the garage face below it. If building form is viewed as a series of interlocking masses rather than a single volume, a more desirable design solution will result. However, certain styles will dictate a single volume solution.



3.3.3.2 e) First and second stories are differentiated by color and materials.



3.3.3.3 a) Varied roof planes and second story facade details add visual interest.

Figure 3-14 – Typical Single Family Building Mass and Form

3.3.3.3 Single Family Roof Form

- a) Roofs shall have variations in plane accomplished by use of dormers, gables, hipped roofs and variations in pitch appropriate to the homes chosen architectural style as described in Sections 3.3.2.2 through 3.3.2.3 (see Figure 3-15, below).



3.3.3.4 b) Richly detailed surfaces, modulated facades and varied roofline create attractive, street-facing facade.

Figure 3-15 – Typical Single Family Roof Forms and Materials

3.3.3.4 Single Family Materials and Colors

- a) The materials and colors used in residential dwellings shall reflect the general theme of architectural style chosen for the subdivision as described in Section 3.3.2.
- b) Exterior elevations shall demonstrate a logical use of materials and a unified appearance. The interface between the home and the garage shall use complementary materials and/or colors in keeping with the architectural style (see Figure 3-15, above).
- c) Change in materials or color shall occur at changes in plane or at a logical break on the facade, so as not to give the appearance of artificial quality in keeping with the architectural style.
- d) Building materials and color schemes shall be consistent with the chosen architectural style as described in Section 3.3.2.2 through 3.3.2.3.

- e) Homes shall incorporate a minimum of two building materials from the list below to the approval of the DRC and Administrator. Predominant exterior building materials shall be of high quality. They may include but are not limited to:
- Brick or masonry products
 - Stained, painted, or weathered wood/composite siding or shingles, or cementitious product
 - Tinted, textured stucco or dryvit
 - Stone veneer/cultured stone
 - Other natural stone

3.3.3.5 Single Family Residential Support Structures

Residential exterior support structures such as HVAC and satellite dishes can have a negative impact on the appearance of the streetscape and neighborhood character. The impacts of these structures shall be minimized.

- a) Exposed gutters shall be colored to match the roof or wall material. Exposed downspouts shall be colored to match the surfaces to which they are attached.
- b) All HVAC, soft water tanks, pool and spa equipment, and electric self-timer boxes for sprinklers or exterior landscape lighting shall be screened with landscaping or an architectural element.
- c) Skylights and solar panels shall be designed as an integral part of the roof. The glazing shall be clear or solar bronze. White glazing is prohibited. The framing materials shall be colored to match or blend with the roof.
- d) Space shall be provided in an adjacent side yard or interior portion of the garage to handle the size of at least two recycling/trash containers.
- e) The use of patio structures is encouraged. They shall be integrated into the building form to add articulation to otherwise large unbroken wall masses. Such structures must meet the setback requirements of the main structure.
- f) All homes shall be prewired to accommodate cable television service, telephone, and DSL/internet service. Guest Builders shall not install exterior antennas. However, once 18-inch satellite dish discretely placed on the side or rear wall elevations beneath the eaves and soffits of the structure will be permitted.
- g) Boat and recreational vehicle storage shall be limited to rear and side yards and be screened from any public right-of-way.

- h) Chimneys – All fireplace vents (through roof) shall be framed and boxed to give the appearance of a chimney. Exterior materials of chimneys shall be compatible with the exterior materials and colors used on the house.

3.3.3.6 Single Family Garages

- a) The home and the yard rather than the garage shall be the primary emphasis of the street elevation (see Figure 3-16). Garages facing the street shall be setback five (5) feet from the front building facade.
- b) Each subdivision house plan shall incorporate one of the garage design techniques listed below and each neighborhood shall incorporate at least two of these techniques to reduce the emphasis of the garage on the street (see Figure 3-16, following page).

Recessed Garage

Setting the garage back a minimum of five (5) feet in relationship to the front of the house reduces the overall visual mass of the garage.

Deep Recessed Garage

Setting the garage back to the middle or rear of the lot. This creates a more pedestrian-friendly street environment by allowing the homes primary entryway to address the street.

Alley Loaded Garage

The use of alleyways locates garages off the street and creates a more traditional street scene, without garage facades fronting the street. The garage off the alley shall have architectural features that complement the main structure.

Side Entry Garage

This design technique breaks up the continuous view of garage doors along the street. The facade of the garage facing the street shall incorporate architectural features, windows, faux windows, or other details.

Corner Lot Garage

This garage treatment is derived out of a plan layout where the garage changes from an interior lot plan to a corner lot plan.



3.3.3 6 a) Recessed garages give importance to the entry and create a pedestrian friendly neighborhood.

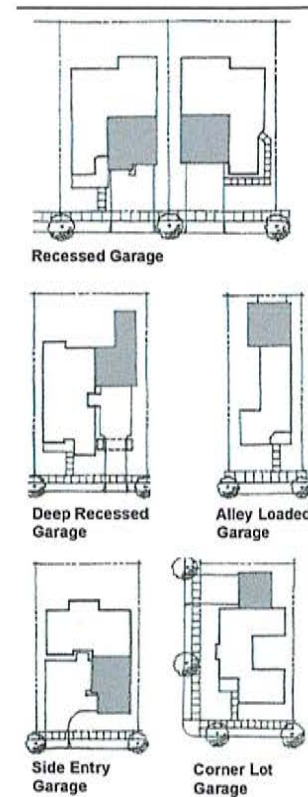


Figure 3-16 – Typical Garage Concepts

3.3.4 Multi-Family Residential Architectural Standards

3.3.4.1 Multi-Family Building Mass and Form

- a) Multi-family residential facades can often be box-like and monotonous in appearance, contributing to unpleasant visual qualities and poor community character. Facades of buildings shall be articulated using at least one of the architectural styles contained in Sections 3.3.2.2 through 3.3.2.3.
- b) Buildings shall incorporate facade articulation with no long expanses of flat wall planes, vertically or horizontally, exceeding 50 feet (see Figure 3-17, following page).
- c) Architectural elements (i.e., exterior materials, fenestration, window trims, cornices, arches, etc) may be utilized on all sides of the building.
- d) The architecture facing a pedestrian area shall exhibit a human scale of detail, such as awnings, shutters, moldings, pilasters and other architectural details.

- e) Use of vertical elements such as towers, piers and varied rooflines may be used to break up the horizontal massing and provide visual interest.
- f) Attached dwelling units whose garage and/or carport are more than 50 percent of the total width of the unit shall incorporate architectural features such as shutters, garage door window trim and minimum offsets of 2 feet, to reduce the visual impact of garages and carports on the front facade.
- g) Garages and carports not attached to the main residential building shall match the main structure in building design, materials, roof pitch and architectural character. No pole mounted parking structures will be permitted.
- h) Building heights shall address sunlight penetration, ventilation, protection from prevailing winds, and views to the adjacent open space areas.
- i) All multi-family units shall have an outdoor patio/deck for each unit with a minimum depth of six (6) feet or provide a design solution that satisfies the intent of this standard. The alternative design is subject to the approval of the DRC and the City of Sparks.



3.3.4.1 b) Facade articulation such as the use of dormer windows add richness to both the home and the streetscape.

Figure 3-17 – Typical Multi-Family Building Mass and Form

3.3.4.2 Multi-Family Roof Form

- a) Roofs shall have variations in plane accomplished by use of dormers, gables, hipped roofs and variations in pitch appropriate to the chosen architectural style (see Figure 3-18, following page).
- b) Roof materials shall be consistent with the chosen architectural style as outlined in Sections 3.3.2.2 through 3.3.2.3.



3.3.4.2 a) Variations in roof form help avoid box-like structures.

Figure 3-18 – Typical Multi-Family Roof Form

3.3.4.3 Multi-Family Materials and Colors

- a) The materials and colors used shall reflect the chosen architectural style as outlined in Sections 3.3.2.2 through 3.3.2.3.
- b) Expanses of uninterrupted single exterior materials without planar or color changes shall not be allowed.
- c) Change in materials or color shall occur at changes in plane or at a logical break on that facade, such as change is story, to avoid artificial or "tacked-on" appearances.
- d) Building materials and color schemes should be consistent with the chosen architectural style.
- e) Materials such as brick and stone shall be left in their natural colors.
- f) Homes/buildings shall incorporate a minimum of two building materials from the list below to the approval of the DRC and Administrator. Predominant exterior building materials shall be of high quality. They may include but are not limited to:
 - Brick or masonry products
 - Stained, painted, or weathered wood/composite siding or shingles, or cementious product
 - Tinted, textured stucco or dryvit
 - Stone veneer/cultured stone
 - Other natural stone

3.3.4.4 Multi-Family Support Structures

- a) Recreational vehicles shall not be stored onsite.
- b) No pole parking structures will be permitted.

CHAPTER 4 – CONSTRUCTION, OPERATION, AND MAINTENANCE

4.1 Clean Job Site

All construction job sites within the Kiley Ranch North are to be maintained in a clean and orderly fashion. Each Master Developer/Guest Builder shall adopt procedures to suit its individual circumstances.

If a temporary use site is not maintained or returned to a reasonable state of cleanliness, the Master Developer or the Kiley Ranch North Landscape Association/LMA has the authority to authorize clean-up by an outside party and assess the cost of this clean-up against the owner or Guest Builder.

4.2 Protection of Vegetation During Construction

Any vegetation within the open space areas outside areas to be graded shall be protected from damage during construction.

4.3 Temporary Protective Fencing

Temporary protective snow fencing shall be erected by the Master Developer or Guest Builder at a 20' setback adjacent to riparian vegetative areas during construction adjacent to these areas and removed upon completion. No equipment will be allowed to enter the fenced areas.

Potentially toxic materials such as solvents, paints, gasoline, etc. shall not be poured on the ground anywhere within the development.

4.4 Erosion Control Plan and Storm Water Pollution Prevention Plan

The Erosion Control Plan and SWPPP shall include at a minimum the following:

1. Erosion control plan for the entire site or area of disturbance. This plan shall note all Best Management Practices (BMP's) to be used on site, along with descriptive notes, etc.
2. A Reclamation bond based on an approved Exhibit A of the estimated cost to revegetate the site.
3. A Storm Water Pollution Prevention Plan that shall include the following information:
 - a. Facility Owner/operator and other applicant information
 - b. Project Site information, including pre and post site conditions and land uses, runoff coefficients, sequence of construction activities, total area disturbed, etc.
 - c. Existing soil and water quality information.
 - d. Site Maps
 - e. Storm water discharge points and receiving waters.
 - f. List of Best Management Practices

- g. Inspection and maintenance procedures and a log of all inspection activities, changes in BMP's, weather condition changes, etc.

These requirements will apply to the development site itself and any surrounding property that may be used as a debris, borrow, or stockpile site for excess soil cut or fill.

4.5 Temporary Uses and Signs

The location and type of temporary structures, uses and directional construction signs shall be reviewed and approved by the Master Developer, the DRC, and Administrator. To the extent possible, construction trailers shall be located away from major and minor arterials and standard collector streets. Temporary structures and uses shall be removed immediately upon completion of construction.

All temporary uses and/or structures shall be maintained in a clean and orderly fashion. Adequate parking, trash, and restroom facilities shall be provided for the expected attendance. All components required for any event shall be removed and the site cleaned up within 24 hours of the close of each event or use. If a temporary use site is not maintained or returned to a reasonable state of cleanliness, the Master Developer or the LMA has the authority to authorize clean-up by an outside party and assess the cost of this clean-up against the owner or Guest Builder.

Each project is allowed one 4'x8' project identification sign. This sign shall be immediately removed upon the installation of the permanent entry feature. The proposed project identification sign shall be submitted to the Master Developer and the DRC for review and approval, in their sole discretion, prior to installation. No other freestanding individual contractor or financial institution signage is allowed.

Security fencing associated with temporary structures and construction is permitted. Fencing shall not exceed 6 feet in height. Fencing materials for construction yards and trailers may include chain link and wood and must be kept in good repair. Barbed wire may not be used. Upon termination of the temporary use, fencing shall be removed.

4.6 Residential – Model Parks and Construction Yards

4.6.1 Temporary Sales Office Within a Model Home and Model Home Complex

Model Home Complexes shall comply with the following standards:

1. Sales centers within model home complexes or within temporary sales trailers shall be reviewed and approved by the Master Developer, the DRC, and Administrator. Temporary sales trailers must be removed from the sales center after six (6) months.

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2. The location of model home complexes and details regarding parking, lighting, landscaping, fencing, signing and hours of operation shall be reviewed and approved by the Master Developer, the DRC, and the Administrator.
3. Sales Office hours of operation: 10 am to 7 pm weekdays, 10am to 6 pm on Saturdays and Sundays.
4. Temporary sales office and model homes will cease operation with the sale of the final home in the subdivision, at which time the temporary sales office will be vacated and a building permit issued to return the former office to a garage, remove temporary trap fencing and model home signs. The model homes will then be sold as residential units.
5. A paved off-street parking lot shall be provided for the model home complex and accessible parking provided per S.M.C. The off-street parking lot will terminate at the point in time which all the residential lots have been sold and the sales office is closed. The parking lot will be removed and a residential structure constructed, if the parking is situated on a residential lot. If not a residential lot, then the lot shall be landscaped as open space or the other intended use as recorded on the final map and/or as indicated on the improvement plans for the development site.
6. The Master Developer or Guest Builder shall provide a minimum of (2) paved, off-street parking spaces for each model home (1) of which is van accessible disabled parking to the approval of the DRC or the Master Developer prior to final inspection. The parking lot must comply with all requirements of the Title 20.49 and be striped parking spaces and signed identifying the van accessible parking space.
7. The model home lots will be completely landscaped as well as the area surrounding the off-street parking lot area and are subject to review and approval by the DRC or Master Developer and the Administrator prior to issuance of a building permit for the model home complex and off-street parking. The landscaping and irrigation shall be installed per the approved plans prior to final inspection for occupancy of the model home complex office and off-street parking lot.
8. If temporary trap fencing is used, it shall be placed between the path to the model homes and the street to guide the prospective buyers to each model home. The temporary trap fencing shall be located on private property and shall not block or obstruct the public sidewalk along the street. The temporary trap fencing will be removed when the conversion of the sales office to a garage is submitted to the City.
9. Fencing for the front yard of model homes shall be decorative black metal. Front yard fencing and fencing that is not part of the permanent house-fencing scheme for the project shall be removed upon termination of the model home complex use.
10. Signs for the model homes will include small freestanding monument signs at the entrance of the temporary sales office and the entrance of each model home. The monument signs are temporary and will be removed when the conversion of the sales office to a garage is submitted to the City.

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Sign sizing shall be per S.M.C. and as approved by administrator. The sign locations shall comply with the safe sighting standards in the Title 20.56.

11. Site lighting for the model home complex is encouraged for security and safety purposes. This lighting may consist of low-level building mounted lights, motion detection lights, interior lighting left on within the model home, and/or low voltage landscaping lighting.
12. Temporary parking lot lighting, if required by the City of Sparks, will be allowed. If lighting is otherwise desired by the Guest Builder, an application may be made to the Master Developer, the DRC, and the Administrator. Upon termination of the model home complex use, any site lighting not in conformance with residential lighting throughout the project shall be removed by the Guest Builder.
13. The Master Developer or Guest Builder shall limit all construction and construction related activities to between the hours of 7:00 a.m. through 7:00p.m., Monday through Friday and 9:00a.m. to 5:00p.m. Saturday. There shall be no construction related activities on Sundays in residential areas. The Master Developer or Guest Builder shall install signs at all access points to the project that clearly indicate these limited hours of activity on-site prior to the start of any construction related activities. The Master Developer or Guest Builder shall maintain these signs in good repair for the duration of the construction of the project. Once construction is completed, the Master Developer or Guest Builder shall remove these signs.
14. Flags and flag poles associated with model home complexes, including size, type and location shall be submitted to the Master Developer, DRC, and Administrator for review and approval. Upon termination of the model home complex use by the Guest Builder, all flags and flag poles shall be removed by same.
15. The Guest Builder shall designate to the DRC and the Master Developer and the City of Sparks a project contact person responsible/authorized to correct problems regarding the project on a 24 hour/7 days a week basis. The Guest Builder shall designate the project contact person to the DRC and the Master Developer as well as the City of Sparks, prior to issuance of a grading permit for the project.
16. If the sales office is not converted back into a garage, there must be parking documented to the approval of the City of Sparks that complies with Title 20.49.

4.6.2 Construction Yards

Within Phase 6, construction yards will be necessary. The following requirements will apply to all zoning classifications within the planned development.

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12. The Master Developer or Guest Builder shall limit all construction and construction-related activities to between the hours of 7:00a.m. through 7:00p.m., Monday through Friday and 9:00a.m. to 5:00p.m., Saturday. There shall be no construction yard usage on Sundays in residential areas. The Master Developer or Guest Builder shall install signs at all access points to the project that clearly indicate these limited hours of activity on-site prior to the start of any construction-related activities. The Master Developer or Guest Builder shall maintain these signs in good repair for the duration of the construction of the project. Once construction is completed, the Master Developer or Guest Builder shall remove these signs.
13. The Guest Builder shall designate to the Master Developer, the DRC, and the City of Sparks a project contact person responsible/authorized to correct problems regarding the project on a 24-hour/7 days a week basis. The Guest Builder shall designate the project contact person to the Master Developer, the DRC, and the City of Sparks prior to issuance of a grading permit for the project.
14. The Guest Builder may construct a fence around the construction yard that is higher than (6) six feet and use barbed wire or concertina wire on the top of the fence with the approval of the City of Sparks building department and the DRC.
15. Temporary security lighting for construction trailers and yards will be permitted. All lighting including locations and types shall be reviewed and approved by the Master Developer and the DRC. Temporary lighting shall be removed upon termination of the temporary use.

